



Our Vision

Red Wing thrives as a vibrant, creative river town that values its natural environment, welcomes all people, and unlocks opportunity for everyone.

Our Mission

We strive to create a sustainable, healthy, accessible, resilient, and equitable community where every person feels at home.

Meeting Announcement and Agenda Advisory Planning Commission Special Meeting City Council Chambers, 315 West 4th Street, Red Wing, MN & Virtually Wednesday, November 5, 2025, at 7:30 PM

This meeting will be held in the City Hall Council Chambers and virtually via Webex at the same time. Members of the public can join this meeting either in person at City Hall or virtually. To join this meeting via Webex, [click this link](#) and use the password 2025. To join via telephone, please dial (415) 655-0001. Enter access code 2558 635 5458 and password 2025 when prompted.

- 1. Call to Order**
- 2. Pledge of Allegiance**
- 3. Roll Call**
- 4. Approval of Agenda**
- 5. Motions & General Business**
 - 5.A. Public Hearing - Variance Request to Construct a 4,500 sq.ft. Building Addition at 3424 North Service Drive Without Meeting Exterior Building Material Standards Established in Division 45 of the Red Wing Zoning Ordinance
- 6. Adjournment**

Accommodations for signing interpreter, Braille, large print, etc. can be made. Call City Hall at 385.3600 seven days prior to the need. Hearing assistance devices are available during meetings.



TO: Red Wing Advisory Planning Commission/Board of Adjustments Members

FROM: Steve Kohn, Planning Manager, October 31, 2025

Meeting Date: November 5, 2025

Agenda Item

05.A. - Public Hearing: Variance Request by Siewert Garage to Construct a 4,500 sq.ft. Building Addition at 3424 North Service Drive Without Meeting Exterior Building Material Standards Established in Division 45 of the Red Wing Zoning Ordinance

Attachments

- Resolution No. 2025-6 (Draft)
- Public Hearing Notice
- New Submittals
- Current Photos
- Original Memo and Attachments for 5-28-24 City Council Packet

Recommended Action

Motion to Adopt Resolution No. 2025-6 of the Red Wing Advisory Planning Commission/Board of Adjustments, Approving the Variance with a Condition of Approval Requiring Additional Screening along the North Side of the Building

Background

On May 28, 2024, the Red Wing City Council adopted Resolution No. 8004, approving a Conditional Use Permit to expand Siewert Garage use (“Commercial Vehicle Repair”) and for a Storm Water Management Plan for the regrading of the site. The proposal included plans to build a new 60’x100’ building addition onto the north end of the existing complex. Plans for the new building addition were not available at the time of approval and a condition of approval (Condition e) listed in Resolution No. 8004 addressed building design standards. See adopted conditions of approval below.

CONCLUSIONS AND DECISION

1. Based on the foregoing, the Applicant’s application for a Conditional Use Permit to expand the existing Commercial Vehicle Repair use and for a Storm Water

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Management Plan at 3424 North Service Drive is granted, as submitted, with the following conditions of approval.

- a. The applicant shall submit a final site plan, grading plan, landscaping plan, utility plan, and storm water management plan to staff for final review and approval prior to any land disturbing activity.
- b. The final site plan shall show all customer, employee, and ADA parking stalls; all striping of these stalls shall take place within 30 days of final pavement installation.
- c. The final site plan shall include a 5' greenspace area between the new western parking lot and the western façade of the existing buildings. This space may remain turf or can be landscaped.
- d. All building and parking lot lighting shall conform to the City of Red Wing's regulations. The applicant shall submit a lighting plan to the Community Development Department for review and approval prior to the installation of any site lighting.
- e. Final building design shall be reviewed and approved by Community Development staff if the design meets the minimum design standard requirements of Division 45; final building design shall be reviewed and approved by the Planning Commission if the design does not meet the minimum requirements of Division 45, as determined by the Zoning Administrator.

The applicant is now ready to construct the addition and submitted building plans in early October. The proposed building addition is shown with a sheet metal siding exterior that will match the existing structure it will be attached to. Due to the size of the building addition (over 3,000 sq.ft.), Division 45 of the Zoning Ordinance requires full compliance with the established design standards for exterior materials, which is at least 75% of public facades be covered in a primary material – brick or stone.

Per condition of approval e) listed in Resolution No. 8004, the building must be reviewed by the Planning Commission prior to the issuance of a building permit. Staff has noticed a public hearing for a Variance.

The applicant is indicating practical difficulty in regard to the following:

- The proposed building is an addition and will match the exterior material of the building to which it will be attached
- Constructing the building addition with 75% brick or stone on the exterior is cost prohibitive
- Screening in the northwest corner of the site was already required with the CUP to expand the business operations (this has not been installed yet)

The Planning Commission will be acting as the Board of Adjustments for this Variance request and will make the final decision on whether it should be approved or denied.

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For additional background information, please see the attached documents that were submitted as part of the City Council packet on May 28, 2024.

Analysis

The design of the 4,500 square foot building (slightly reduced from the original plan) and the design of the access/parking lot will allow trucks and trailers to enter the property from Spring Creek Avenue North and proceed to the building and possibly to the existing storage area to the north and east of the proposed building. This would reduce the number of trucks using an existing drive access on North Service Drive.

The property is very large and has public right-of-way on three sides. North Service Drive was recently extended through the site. The existing garage complex sits in the middle of the commercial site and runs in a linear alignment from south to north. The proposed addition will be situated behind the existing building and will have minimal visual exposure from Hwy 61. The southern wall of the proposed building is approximately 300' from the shoulder of Highway 61.

Visual exposure from Spring Creek Avenue North is also limited due to the addition's orientation at the back of the existing complex; only 50' of the building frontage faces Spring Creek Avenue North. Plantings and architectural screening were required as part of the CUP approval in 2024, although not yet installed, these improvements will further reduce direct visual exposure from the west.

The proposed building addition will be most visible from the north and northeast, along North Service Drive. This area of the Siewert site consists of fenced (chain link) storage lots and access drives to the site. No screening was required along this stretch as part of the CUP approval, due to the fact that the storage lots already existed and the building was not yet designed.

The applicant is making a significant investment in the property, including the proposed building addition, grading, utilities, black topping, storm water management, and screening. In general, the appearance of the property will be greatly enhanced, when completed, and will improve traffic flow to the site.

The Comprehensive Plan does not directly address the applicant's situation, but it does support the proposal in regard to use. The site sits at the western edge of the Midtown Activity Center, which serves as the center of larger scale regional commercial uses in the City. The planned land use map shows the subject property as Regional Commercial. The Plan also encourages new commercial buildings in Midtown to be compatible and buffered from adjacent residential use.

A residential neighborhood exists to the north of the site and the large vacant field to the north (also owned by the applicant) is zoned R-1. Due to the placement of the addition at the rear of the property, away from the Highway 61 corridor, and the type of business, the addition has little impact to the commercial

corridor. However, the addition will be visible from the north and additional screening should be considered.

Staff recommends that the Planning Commission discuss the topic of additional screening. Due to space limitations and existing storage lot use, it appears that the best solution may be new fencing along North Service Drive.

The Board of Adjustments must consider and make each of the following findings of fact when reviewing and approving a variance request. Staff recommended findings are in **bold**.

1. Because of the particular physical surroundings, or the shape, configuration, topography or other conditions of the specific parcel of land involved, strict adherence to the regulations of this Zoning Ordinance would cause practical difficulties. Economic considerations alone do not constitute practical difficulties. **The applicant's property is surrounded on three sides by public right-of-way. The property is large and roughly 390' deep from south to north; the proposed building would be located at the northerly edge of the property, behind the existing garage complex. Approximately 70% of the existing garage complex has a sheet metal exterior and the other 30% has a painted block exterior. Screening in the northwest corner of the site was already required with the CUP to expand the business operations (this has not been installed yet). Strict adherence to the regulations would cause practical difficulties for the applicant.**
2. The conditions upon which a petition for variance is based are unique to the parcel of land for which the variance is sought and are not applicable, generally, to other property within the same zoning classification. **The conditions mentioned above are unique to the applicant's parcel and situation and are not generally applicable to other property in the B-2 District.**
3. The alleged practical difficulty is caused by the Zoning Ordinance and has not been created by any persons presently having an interest in the parcel of land. **The unique characteristics listed above are not typical of B-2 zoned properties. The Zoning Ordinance has created the alleged practical difficulty. The applicant has not created the practical difficulty.**
4. The granting of the variance will not alter the essential character of the locality or be injurious to other property in the vicinity in which the parcel of land is located or substantially diminish property values. **The proposal will not impact the character of the area or be injurious to other property in the vicinity based on aesthetics, setback, and safety, if additional screening is installed along the northern edge of the property. There is no evidence that the proposal will diminish property values.**

Item 05.A.

5. The proposed variance will not substantially increase the congestion of the public streets, or increase the danger of fire, or be detrimental to the public welfare or endanger the public safety. **The proposed project will not impact public welfare or public safety.**
6. It has been demonstrated that the granting of the Variance will be in keeping with the spirit and intent of the Zoning Ordinance and is consistent with the Comprehensive Plan. **The proposal meets the intent of the Zoning Ordinance. The granting of the proposed Variance is consistent with the Comprehensive Plan, if additional screening is required along the northern edge of the property.**

Staff Recommendation

Based on the analysis and findings above, staff recommends a motion to adopt Resolution No. 2025-6, approving the Variance request as submitted, with the following condition of approval.

- A. Prior to the issuance of a Certificate of Occupancy for the new building addition, the applicant shall submit a screening plan along the north edge of the property to the Zoning Administrator for review and approval. The screening plan may include an architectural screen structure (fence or similar), plantings, or a combination of both.

**RESOLUTION NO. 2025-6 of the RED WING ADVISORY
PLANNING COMMISSION/BOARD OF ADJUSTMENTS**

***A Resolution Approving a Variance to Construct a Building Addition at 3424
North Service Drive Without Meeting Exterior Building Material Standards
Established in Division 45 of the Red Wing Zoning Ordinance***

WHEREAS, the City of Red Wing is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, Siewerts Real Estate, LLC, 3424 North Service Drive and Todd V. Siewert ETAL, 3386 Lake Street, (“Applicant”), have submitted an application for a Variance to allow the construction of a new 4,500 square foot building addition at 3424 North Service Drive without meeting exterior building material standards established in Division 45 of the Red Wing Zoning Ordinance; and

WHEREAS, the property is zoned General Business (B-2) and Division 45 of the Red Wing Zoning Ordinance requires building additions over 3,000 square feet in size on property located in the B-2 District to meet exterior building material design standards; and

WHEREAS, the Applicant submitted said zoning application on October 16, 2025, to the Community Development Department which reviewed and determined the application to be complete on October 16, 2025; and

WHEREAS, notice has been published, mailed and posted pursuant to the Red Wing Zoning Ordinance, Section 85-020; and

WHEREAS, Division 80-030 and Division 80-040 of the Red Wing Zoning Ordinance establishes the Red Wing Advisory Planning Commission as the Board of Adjustments for reviewing and deciding Variance applications; and

WHEREAS, the Red Wing Advisory Planning Commission conducted a public hearing on said matter on November 5, 2025; and

WHEREAS, the Red Wing Advisory Planning Commission reviewed a report and recommendation by Planning Manager, Steve Kohn, dated October 31, 2025, and considered said matter at its November 5, 2025, special meeting.

NOW THEREFORE BE IT RESOLVED, that based on the testimony elicited and information received, the Advisory Planning Commission makes the following:

FINDINGS

1. That the procedure for obtaining said Variance is in the Red Wing Zoning Ordinance, Section 90-110.
2. That all the requirements of said Section 90-110 have been met by the Applicant.
3. That the proposed Variance request involves the construction of a new 50'x90' building addition to the north of the existing principal building on the site. That the applicant is proposing a white sheet metal siding product on the addition that matches the existing principal structure. That Division 45-070 of the Red Wing Zoning Ordinance requires exterior building design standards that require at least 75% wall coverage by a primary material – either brick or stone.
4. That the proposed Variance will be located on property legally described in the attached Exhibit A. More commonly known as 3424 North Service Drive.
5. The applicant's property is surrounded on three sides by public right-of-way. The property is large and roughly 390' deep from south to north; the proposed building would be located at the northerly edge of the property, behind the existing garage complex. Approximately 70% of the existing garage complex has a sheet metal exterior and the other 30% has a painted block exterior. Screening in the northwest corner of the site was already required with the CUP to expand the business operations (this has not been installed yet). Strict adherence to the regulations would cause practical difficulties for the applicant.
6. The conditions mentioned above are unique to the applicant's parcel and situation and are not generally applicable to other property in the B-2 District.
7. The unique characteristics listed above are not typical of B-2 zoned properties. The Zoning Ordinance has created the alleged practical difficulty. The applicant has not created the practical difficulty.
8. The proposal will not impact the character of the area or be injurious to other property in the vicinity based on aesthetics, setback, and safety, if additional screening is installed along the northern edge of the property. There is no evidence that the proposal will diminish property values.
9. The proposed project will not impact public welfare or public safety.
10. The proposal meets the intent of the Zoning Ordinance. The granting of the proposed Variance is consistent with the Comprehensive Plan, if additional screening is required along the northern edge of the property.

NOW, THEREFORE BE IT RESOLVED, that based on the testimony elicited and information received, the Advisory Planning Commission of the City of Red Wing hereby approves the request by the applicant for a Variance to construct a 50'x90' building addition without meeting building design standards established in Division 45 of the Red Wing Zoning Ordinance, with the following condition of approval.

- A. Prior to the issuance of a Certificate of Occupancy for the new building addition, the applicant shall submit a screening plan along the north edge of the property to the Zoning Administrator for review and approval. The screening plan may include an architectural screen structure (fence or similar), plantings, or a combination of both.

Adopted this ____ day of _____ 2025, by the Advisory Planning Commission of the City of Red Wing.

Brad Wronski, Chairperson

ATTEST:

Kyle Klatt, Community Development Director



PUBLIC HEARING NOTICE

Notice is hereby given that the City of Red Wing Advisory Planning Commission/Board of Adjustments will hold a public hearing in the City Council Chambers at City Hall on Wednesday, November 5, 2025, at 7:30 p.m., to hear and take action on a Variance request by Siewert Garage, Inc., 3424 North Service Drive, to allow the construction of a new 4,500 square foot addition to the principal structure on the property. The property is located within the (B-2) General Business District. The proposed building addition is required to meet minimum exterior building material requirements per Division 45 of the Zoning Ordinance, along with other design standards. The applicant is requesting a Variance to construct the building with a sheet metal exterior to match a portion of the existing building. The proposed exterior material does not meet the standards of Division 45.

Plat and Parcel Numbers: 55-835-0140, 55-835-0150, 55-835-0110, 55-835-0100, 55-835-0120, 55-835-0090, 55-835-0190, 55-835-0320, 55-835-0330, and 55-835-0301. More commonly known as 3424 North Service Drive. A complete legal description of the project site may be viewed or obtained from the Community Development Department, 419 Bush Street, Red Wing.

Written or oral comments to said Variance may be presented at this public hearing or filed with the City Clerk prior to this hearing. Each response will be duly considered and evaluated before any formal action is taken by the Planning Commission/Board of Adjustments. This meeting will also be held virtually. If you wish to share a public comment regarding the proposal, you may send an email with your comments by 3:00 p.m. on Wednesday, November 5, 2025, to steve.kohn@redwingmn.gov or by calling 651-385-3622 to leave your contact information and a voicemail with your comments. You may also request a link to join the meeting via Webex. For Variance requests, the Planning Commission serves as the Board of Adjustments. All findings and decisions of the Board of Adjustments concerning variances shall be final; the proposal will not be reviewed by the City Council.

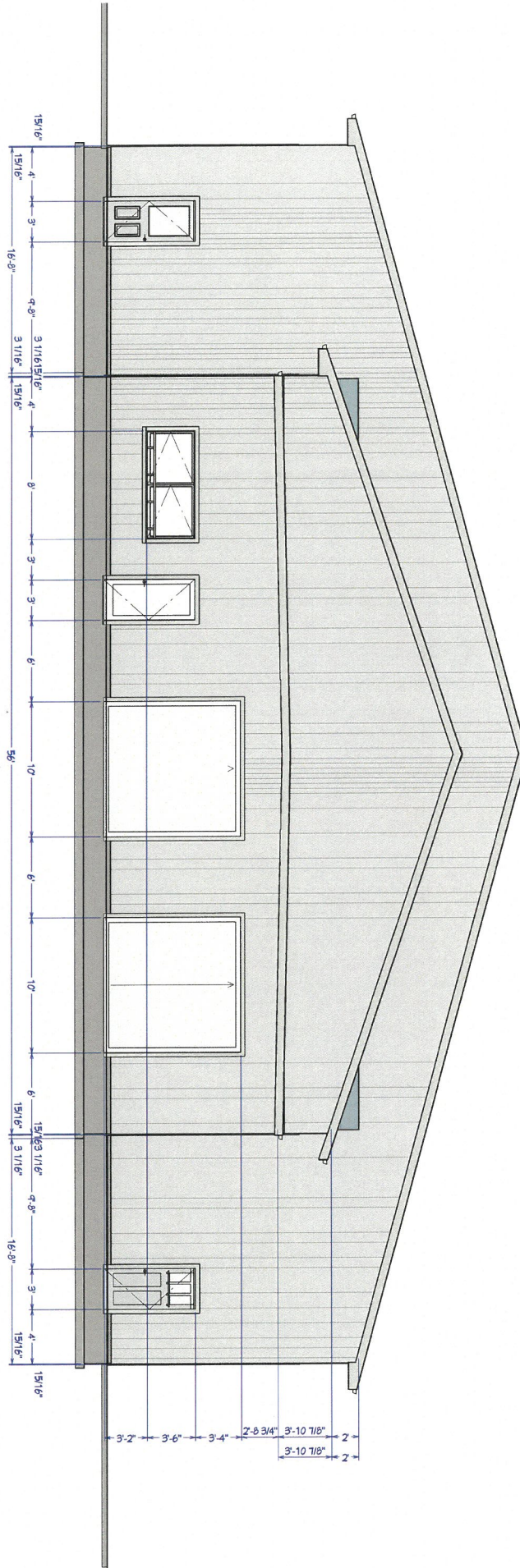
Melissa Hill
City Clerk
City of Red Wing, Minnesota

Date: **October 20, 2025**

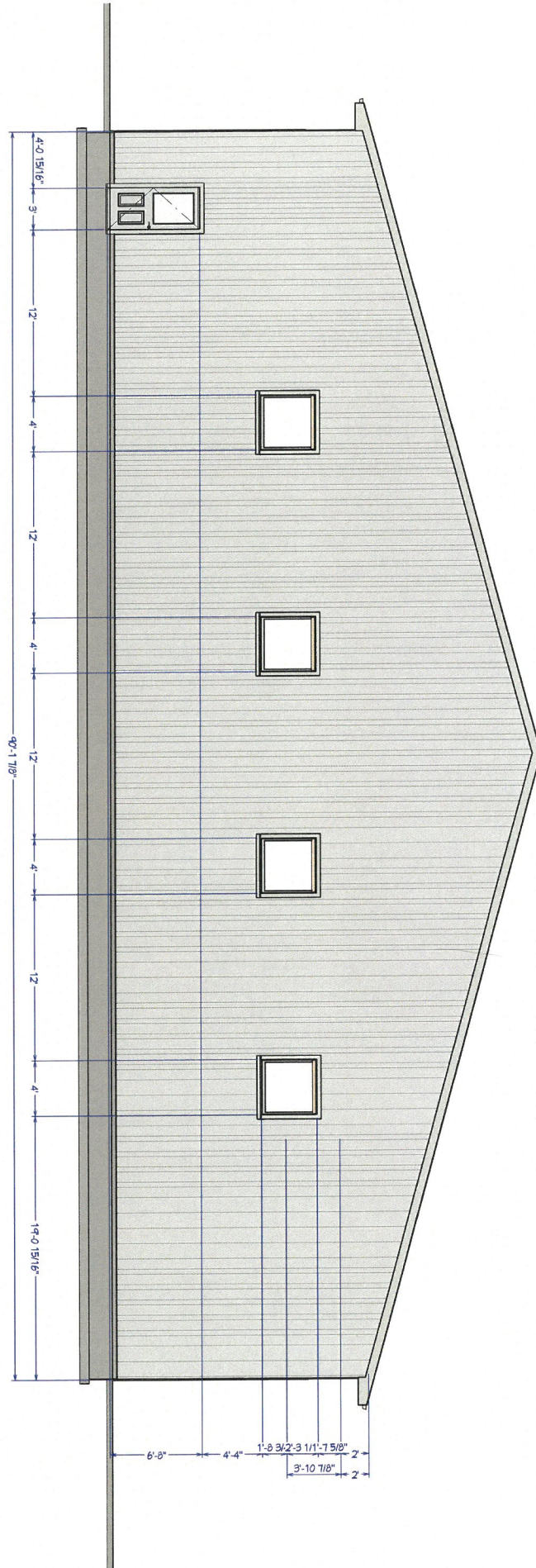
Publish once in the Republican Eagle: **October 25, 2025**

NOTE: The City of Red Wing Zoning Ordinance requires that this notice be mailed to each of the owners of all property located within 500 feet of the property described above.

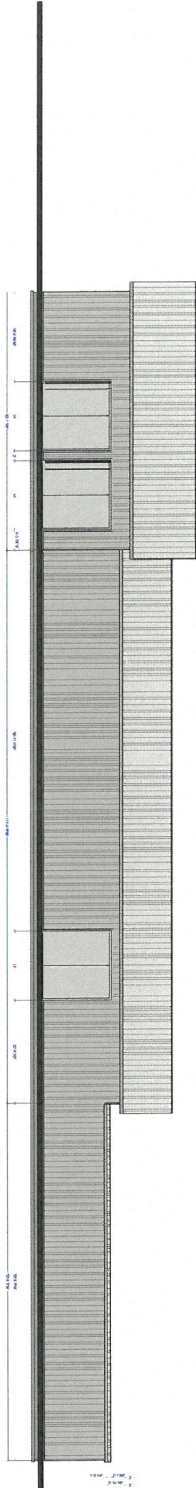
SOUTH FACADE (HWY 61)
 (ADDITION BEHIND EXISTING)



NORTH FACCADE (NORTH SERVICE DR.)

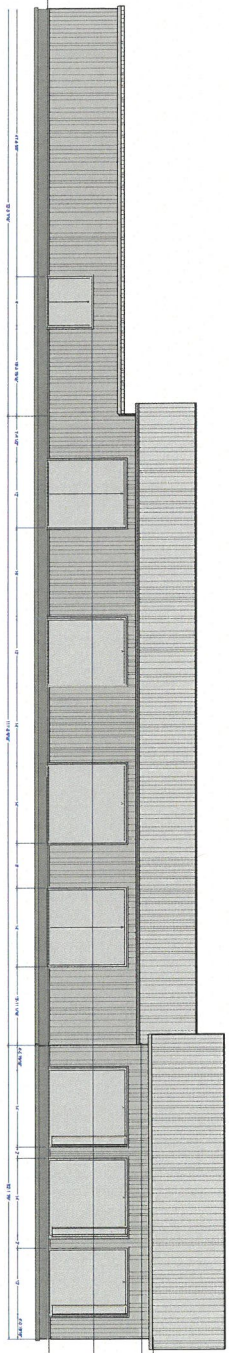


ADDITION



WEST SIDE OF COMPLEX
(SPRING CREEK AVENUE NORTH)

EAST SIDE OF COMPLEX




ADDITION





ADDITION



FLOOR PLAN



View from northeast



View from north



View from northwest



2024 CITY COUNCIL MEETING STAFF REPORT

To: Honorable Mayor and City Council Members
From: Steve Kohn, Planning Manager, May 23, 2024
Meeting Date: May 28, 2024

Agenda Item Number: **11.B.**

Title

Conditional Use Permit to Allow the Expansion of a Commercial Vehicle Repair Use and a Storm Water Management Plan at 3424 North Service Drive

Purpose

To Take Action on the Zoning Request

Recommended Action

Motion to Adopt *Resolution No. 8004* - Approving the Conditional Use Permit as Submitted, with Several Conditions of Approval

Attachments

- Resolution No. 8004 (draft)
- Application
- Submittals
- Aerial Photo of Area
- Comments Received

Background

Siewerts Real Estate, LLC, (Siewert's Garage), 3424 North Service Drive, has submitted an application for a Conditional Use Permit (CUP) to allow the expansion of the Commercial Vehicle Repair use by reconstructing and expanding the site's parking lot and allowing for a future 60'x100' building addition. The property is zoned General Business (B-2), which requires a CUP for a Commercial Vehicle Repair use, including an expansion. The Red Wing Zoning Ordinance also requires a CUP for a storm water management plan due to the fact that the proposal will disturb more than one acre of land.

Siewert's Garage has been located on the site for decades and recently acquired additional property along Highway 61, Spring Creek Avenue North, and North Service Drive as a result of the completed extension of North Service Drive and the intersection improvements at Hwy 61

11.B.

and Spring Creek Avenue North. The applicant is proposing parking lot and building improvements to the site, including the reconstruction of the existing parking lot to the south and east of the existing buildings on the site, the construction of a new parking and access area to the west of the existing buildings on the site, and a 60'x 100' future building addition at the rear of the existing buildings on the site. The project also involves new storm water management improvements and a buffer yard in the northwest corner of the site.

The total project area is 4.07 acres. The existing impervious area on the site totals 2.59 acres, roughly 64% coverage; the project proposes to add .57 acres of new impervious surfaces, resulting in total impervious coverage of 3.16 acres, roughly 78% coverage. The B-2 Zoning District allows 80% coverage.

The proposed use of the property is Commercial Vehicle Repair, which requires a CUP in the B-2 District, including any expansions of existing operations.

Commercial Vehicle Repair. Repair of construction equipment, commercial trucks, agricultural implements and similar heavy equipment, including automobiles, where major engine and transmission repairs are conducted. Typical uses include blended towing, automobile, and truck repair operations with ancillary uses existing as of March 22, 2022, automobile and truck repair garages, transmission shops, radiator shops, body and fender shops, equipment service centers, machine shops, and other similar uses where major repair activities are conducted.

The business involves large truck and trailer towing, this requires large areas for turning movements and storage of vehicles and trailers. Customer parking is very limited in comparison to the size of the parking lot and is located in the southern area of the property near the south façade of the southernmost building. The submitted plans do not show designated parking stalls for customers and employees; however, adequate space exists. The eastern parking lot is in rough condition and drains poorly; the proposal would address these conditions. The western parking area currently includes a gravel access from Spring Creek Avenue North that was constructed for the business after its entrance from Highway 61 was closed for the highway intersection improvements. Prior to the street/intersection project, the western area now owned by Siewert's had homes on it.

The proposed 60'x100' building addition would allow more interior storage and repair space for the business. Plans for this building are not available at this time; however, the storm water management improvements were designed based on the location and size of the building.

A required buffer yard is required in the northwest corner of the property to buffer the residential neighborhood to the north from the expansion. The applicant is proposing a 50' landscaped buffer near Spring Creek Avenue North and a 25' buffer with trees and a fence along North Service Drive. This area also serves as a storm water infiltration area.

The proposal includes a Conditional Use Permit for a Storm Water Management plan, as required by the Red Wing Zoning Ordinance for projects that disturb more than one acre of land. The applicant has submitted detailed grading and site plans, as well as a professional storm

11.B.

water management plan. The storm water management plan includes the creation of two storm water areas on the site. Please see attached.

The Planning Commission conducted a public hearing for the proposal at its May 21, 2024, meeting. No public comments were made at the public hearing, however, two (2) comments were received prior to the hearing from Jan Aukema and Brent Aukema. Please see the attached comments.

Analysis

The applicant is proposing to improve site conditions and expand a longtime local business. The Red Wing Comprehensive Plan appears to support the proposal. The site sits at the western edge of the Midtown Activity Center, which serves as the center of larger scale regional commercial uses in the City. The planned land use map shows the subject property as Regional Commercial.

Staff from Public Works, Community Development, Engineering, Police, and Fire have reviewed the general site development plans and find them adequate. Some minor concerns and questions were provided to the applicant and have been addressed. Two additional revisions staff would like to see involve a 5' greenspace (grass or landscaping) along the western side of the existing building to provide the required parking lot setback from the building. The applicant is considering new service doors for this area in the future; since this has not been designed yet, it appears logical to leave the 5' strip as grass, or landscaping, until those plans are ready. Parking stalls, including ADA accessible stalls, should be shown on the site plan and installed after paving has been completed.

The Storm Water Management plan appears to be adequate. The City Engineer reviewed the Storm Water Management Plan and concurred with its findings. The proposal meets the storm water flow requirements established in Division 57 of the Zoning Ordinance in regard to discharges rates for 2-year, 10-year, and 100-year rain events. The storm water improvements are designed to not increase discharge rates after development. The installation of the infiltration/retention basins will also result in a reduction in total suspended solids (TSS) and discharges of total phosphorous (TP) and meets the requirements of the Zoning Ordinance. See sheet C3.4 for storm water calculations.

The proposed buffer yard in the northwest corner of the site includes thirteen evergreen trees, (Norway Spruce and Colorado Blue Spruce), two clusters of evergreen shrubs (Arcadia Juniper), and a 6' tall vinyl fence. The buffer yard also meets minimum width standards. Three additional evergreen trees are also shown in the southwest corner of the parking lot. Please note that additional greenspace will also be added along the southern edge of the existing parking lot, near the Hwy 61 ROW.

The design of the future 6,000 square foot building expansion has not been completed at this time. The building is a future phase. The placement of the building and the design of the access/parking lot will allow trucks and trailers to enter the property from Spring Creek Avenue North and proceed to the building and possibly to the existing storage area to the north and east of the proposed building. This would reduce the number of trucks using an existing drive access on North Service Drive.

11.B.

The building expansion would trigger the commercial design standards found in Division 45 due to the size of the building. The existing buildings on the site are concrete block and sheet metal, these materials do not meet the design standards. Division 45 requires at least 75% of the exterior building walls (public facades) consist of brick and stone. The use of sheet metal and painted decorative concrete block is prohibited by Division 45. Staff recommends a condition of approval that requires final building design be reviewed and approved by Community Development staff if the design meets the minimum requirements of Division 45; final building design of Lot 3 must be reviewed and approved by the Planning Commission if the design does not meet the minimum requirements of Division 45, as determined by the Zoning Administrator. The later option would require a Variance to the existing regulations.

It should also be noted that a Utility Plan has not been submitted. The applicant and the applicant's engineer are working on this topic. Due to the placement of the new building expansion, existing inadequate water service for the expansion, and sanitary sewer service needs, staff recommended that this topic be addressed prior to any grading on the site. This will allow the applicant to stub in new services prior to finishing the pavement improvements.

The Planning Commission and City Council shall make findings with respect to the following (CUP Findings) prior to taking action on the request; Planning Commission recommended findings are in **bold**):

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare. **The proposed uses will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare. The proposal involves the expansion of a longtime business in the area and mainly involves parking lot improvements and access improvements. The proposal also addresses a buffer area to limit views of the commercial operation from the neighborhood to the north. The site development adequately addresses storm water management.**
2. The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement or surrounding property for uses permitted in the district, or substantially diminish property values. **The proposed use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property. Proposed on-site parking, storm water management, and site development are adequate for the proposed use. No evidence has been provided that suggests that the proposed project will diminish property values in the area; the applicant is making a significant investment on the property and is addressing off-site impacts due to access and views.**
3. Adequate utilities, access roads, drainage, or other necessary facilities have been or will be provided. **Adequate utilities, access roads, drainage, and other facilities exist or will be provided.**

11.B.

4. Adequate measures have been or will be taken to minimize traffic congestion in public streets. **The proposed on-site parking and access points can accommodate the proposal.**
5. The conditional use permit is consistent with the applicable policies of the Comprehensive Plan. **It appears that the proposal is consistent with the Comprehensive Plan and the use is consistent with the planned land use map and the adjacent mixed use activity center.**
6. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located. **The proposal appears to meet all other requirements of the B-2 Zoning District and the Red Wing Zoning Ordinance.**

Planning Commission and Staff Recommendations

Based on the information above, the Planning Commission unanimously adopted a motion to recommend approval of the request, as submitted, with the following conditions of approval.

1. The applicant shall submit a final site plan, grading plan, landscaping plan, utility plan, and storm water management plan to staff for final review and approval prior to any land disturbing activity.
2. The final site plan shall show all customer, employee, and ADA parking stalls; all striping of these stalls shall take place within 30 days of final pavement installation.
3. The final site plan shall include a 5' greenspace area between the new western parking lot and the western façade of the existing buildings. This space may remain turf or can be landscaped.
4. All building and parking lot lighting shall conform to the City of Red Wing's regulations. The applicant shall submit a lighting plan to the Community Development Department for review and approval prior to the installation of any site lighting.
5. Final building design shall be reviewed and approved by Community Development staff if the design meets the minimum design standard requirements of Division 45; final building design shall be reviewed and approved by the Planning Commission if the design does not meet the minimum requirements of Division 45, as determined by the Zoning Administrator.

RESOLUTION NO. 8004

A Resolution Approving a Conditional Use Permit to Expand a Commercial Vehicle Repair Use and for a Storm Water Management Plan at 3424 North Service Drive

WHEREAS, the City of Red Wing is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, Siewerts Real Estate, LLC, 3424 North Service Drive and Todd V. Siewert ETAL, 3440 Kosec Drive, (“Applicant”), have submitted an application to the City of Red Wing (the “City”) for a Conditional Use Permit (“C.U.P.”) to expand an existing Commercial Vehicle Repair use and for a Storm Water Management Plan; and

WHEREAS, the Applicant submitted said zoning application on March 1, 2024, to the Community Development Department which reviewed and determined the application to be complete on March 4, 2024; and

WHEREAS, the site is located in the General Business (B-2) Zoning District; and

WHEREAS, a Conditional Use Permit is required for a Commercial Vehicle Repair use in the B-2 Zoning District; and

WHEREAS, the Red Wing Zoning Ordinance requires a C.U.P. for a Storm Water Management Plan for projects that disturb more than one acre of land; and

WHEREAS, the project will disturb a total of 4.07 acres of land; and

WHEREAS, notice has been published, mailed and posted pursuant to the Red Wing Zoning Ordinance, Section 85-020; and

WHEREAS, the Advisory Planning Commission held a public hearing on said matter on May 21, 2024; and

WHEREAS, the Advisory Planning Commission has submitted its report and recommendation to the City Council as part of a report from Steve Kohn, Planning Manager, dated May 23, 2024; and

WHEREAS, the City Council considered said matter at a meeting on May 28, 2024.

NOW, THEREFORE, based on the testimony elicited and information received, the City Council makes the following:

FINDINGS

1. The procedures for obtaining said C.U.P. are found in the Red Wing Zoning Ordinance, Section 90-040.
2. That all the submission requirements of said Section 90-040 have been met by the Applicant.
3. That the proposed C.U.P. is to expand the existing Commercial Vehicle Repair use by creating a larger parking lot on the western side of the site and to add a future 60'x100' building addition on the rear of the existing building. That the proposed C.U.P. is also for a Storm Water Management Plan to reconstruct the existing eastern and southern parking/storage areas, to construct a new parking and maneuvering area on the western side of the property, and to add a 60'x100' future building addition. The project will add .57 acres of new impervious surfaces, resulting in total impervious coverage of 3.16 acres. Two new infiltration basins will be created along the western side of the site to address new and existing storm water flows.
4. That the proposed C.U.P. will be located on property described in the attached Exhibit A. More commonly known as 3424 North Service Drive.
5. The proposed uses will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare. The proposal involves the expansion of a longtime business in the area and mainly involves parking lot improvements and access improvements. The proposal also addresses a buffer area to limit views of the commercial operation from the neighborhood to the north. The site development adequately addresses storm water management.
6. The proposed use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property. Proposed on-site parking, storm water management, and site development are adequate for the proposed use. No evidence has been provided that suggests that the proposed project will diminish property values in the area; the applicant is making a significant investment on the property and is addressing off-site impacts due to access and views.
7. Adequate utilities, access roads, drainage, and other facilities exist or will be provided.

8. The proposed on-site parking and access points can accommodate the proposal.
9. It appears that the proposal is consistent with the Comprehensive Plan and the use is consistent with the planned land use map and the adjacent mixed use activity center.
10. The proposal appears to meet all other requirements of the B-2 Zoning District and the Red Wing Zoning Ordinance.

CONCLUSIONS AND DECISION

1. Based on the foregoing, the Applicant's application for a Conditional Use Permit to expand the existing Commercial Vehicle Repair use and for a Storm Water Management Plan at 3424 North Service Drive is granted, as submitted, with the following conditions of approval.
 - a. The applicant shall submit a final site plan, grading plan, landscaping plan, utility plan, and storm water management plan to staff for final review and approval prior to any land disturbing activity.
 - b. The final site plan shall show all customer, employee, and ADA parking stalls; all striping of these stalls shall take place within 30 days of final pavement installation.
 - c. The final site plan shall include a 5' greenspace area between the new western parking lot and the western façade of the existing buildings. This space may remain turf or can be landscaped.
 - d. All building and parking lot lighting shall conform to the City of Red Wing's regulations. The applicant shall submit a lighting plan to the Community Development Department for review and approval prior to the installation of any site lighting.
 - e. Final building design shall be reviewed and approved by Community Development staff if the design meets the minimum design standard requirements of Division 45; final building design shall be reviewed and approved by the Planning Commission if the design does not meet the minimum requirements of Division 45, as determined by the Zoning Administrator.
2. If any conditions of this C.U.P. are violated, the City Council may revoke it on ten (10) days notice to the Applicant, who may request a hearing before the Council within five (5) days of the City mailing notice to the site. If the Applicant fails to request a hearing within said five days, his right to a hearing is waived.

Adopted this _____ day of _____ 2024, by the City Council of the City of Red Wing.

Kim Beise, Council President

ATTEST:

Teri L. Swanson, City Clerk

Presented to the Mayor at _____ on this _____ day of _____ 2024. Approved
this _____ day of _____ 2024.

Michael Wilson, Mayor

Exhibit A

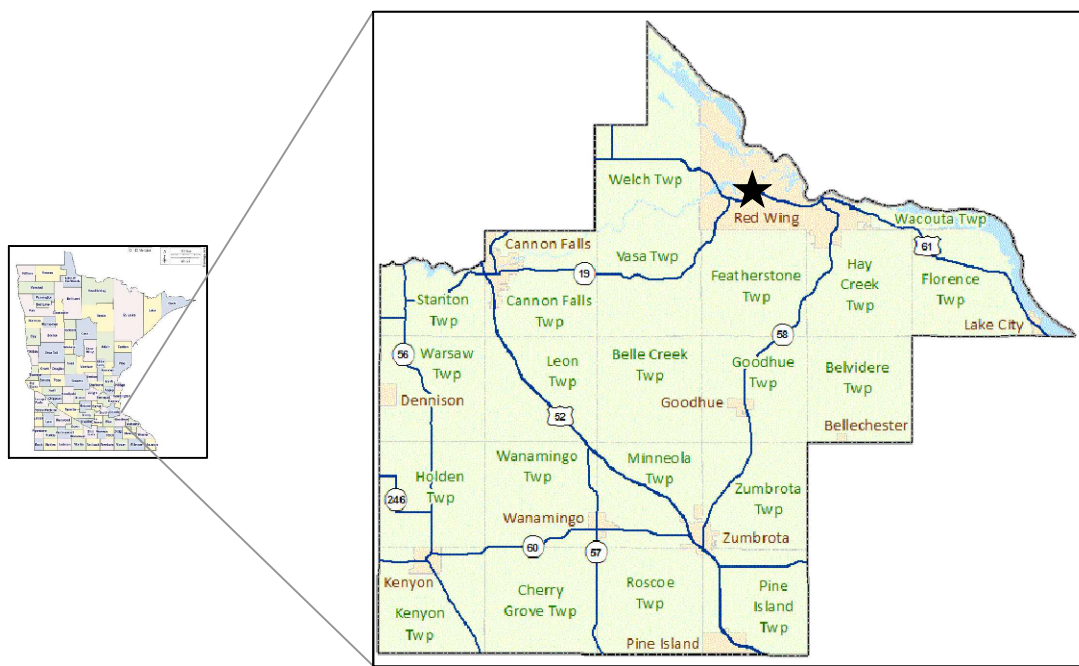
SIEWERTS GARAGE TRUCK SHOP ADDITION

N3424 NORTH SERVICE DRIVE
RED WING, MN 55066


OWNER
SIEWERT REAL ESTATE LLC
CONTACT: TODD SIEWERT
PHONE: 651-388-9163

ENGINEER
GADIENT ENGINEERING, LLC
KELLI GADIENT, PE
1901 RED FOX DRIVE
RED WING, MN
PHONE: 651-380-7027

PROJECT LOCATION
3424 N. SERVICE DRIVE
RED WING, MN



GOODHUE COUNTY, MN


GOPHER STATE ONE CALL
CALL 811 OR 800-252-1166

NOTES:
CONTRACTOR SHALL CONFIRM THAT ALL EXISTING SITE CONDITIONS MATCH PRECONSTRUCTION CONDITIONS SHOWN ON PLANS.
CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES. UTILITIES SHOWN ON PLANS SHALL BE ASSUMED AS APPROXIMATE.

ALL CONSTRUCTION TO CONFORM TO LOCAL AND STATE CONSTRUCTION STANDARDS AND TECHNICAL SPECIFICATIONS. CITY OF RED WING STANDARD SPECIFICATION SHALL BE THE GOVERNING SPECIFICATION UNLESS INDICATED OTHERWISE IN THE PLANS.

CONTRACTOR IS RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL UTILITIES, INCLUDING WATER AND SEWER SERVICES.

CERTIFICATION

PRELIMINARY

SHEET INDEX

























- C1.0 TITLE & LOCATION
- C2.0 SITE PLAN
- C2.1 GRADING PLAN
- C2.2 RESIDENTIAL BUFFER PLAN
- C3.0 EROSION CONTROL PLAN AND SWPPP
- C3.1 SWPPP
- C3.2 STORMWATER MANAGEMENT PLAN
- C3.3 STORMWATER MANAGEMENT PLAN – EXISTING WATERSHED
- C3.4 STORMWATER MANAGEMENT PLAN – PROPOSED WATERSHED
- C4.1 GRADING DETAILS AND NOTES
- C4.2 GRADING DETAILS AND NOTES
- C4.3 GRADING DETAILS AND NOTES
- C4.4 STANDARD DETAIL DRAWINGS – CITY OF RED WING

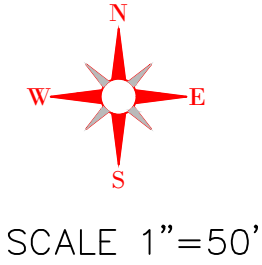
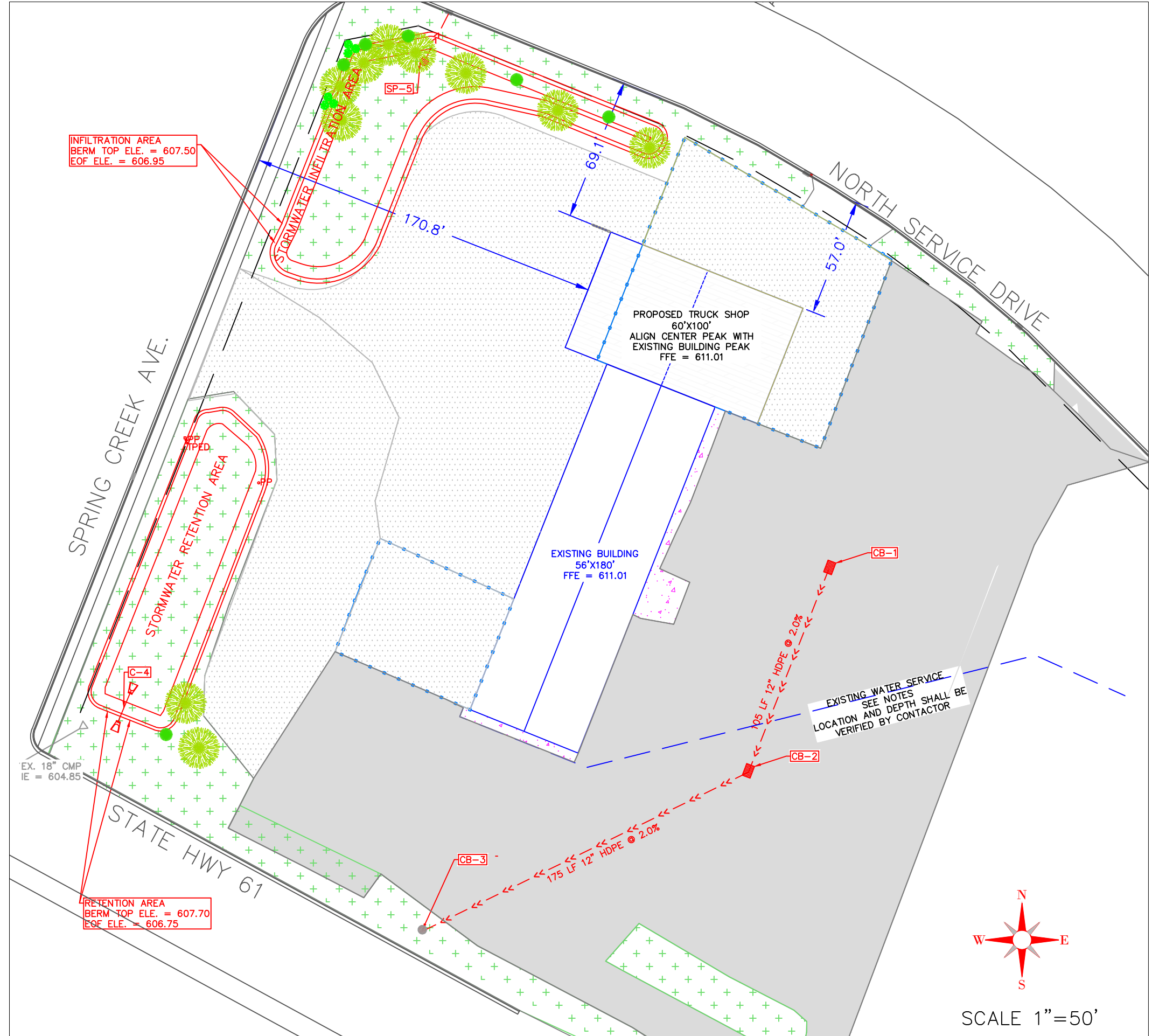
TITLE AND LOCATION	Drawing Status:	Drawn By: KJG	Revision
	Preliminary	Checked By:	
SIEWERT REAL ESTATE, LLC 3424 N. SERVICE DRIVE RED WING, MN 55066 Client: SIEWERTS GARAGE Project ID: 2007-23-01	Authority Approved	Date: 2024-03-14	
	Final Design		
	Issued for Construction		
	Record Plans		

PROJECT SUMMARY

ADD 60'X100' TRUCK SHOP
 ADD CRUSHED AGGREGATE SURFACE FROM SPRING CREEK AVE. ENTRANCE TO ACCESS PROPOSED TRUCK SHOP.
 RESURFACE EXISTING BITUMINOUS SURFACE TO IMPROVE DRAINAGE. PAVE SPRING CREEK AVENUE ENTRANCE AND PARKING AREA TO THE EXISTING BUILDING.
 ADD PRIVATE STORM CONVEYANCE SYSTEM TO IMPROVE DRAINAGE
 ADD INFILTRATION AND STORMWATER RETENTION FACILITIES.
 STORMWATER RETENTION FACILITY MEETS CITY OF RED WING REQUIREMENTS FOR PEAK RATE REDUCITON FOR 2, 10, AND 100 YEAR, 24 HOUR RAINFALL EVENTS.

LEGEND

-  PROPERTY LINE
-  PROPOSED CONTOUR
-  EXISTING FENCE
-  RETAINING WALL
-  PROPOSED CONCRETE
-  SILT FENCE
-  PROPOSED STORM
-  EXISTING WATER SERVICE
-  WATERSHED DELINEATION
-  PROPOSED TELECOM SERVICE
-  PROPOSED CULVERT
-  EX. STORM
-  EX. BITUMINOUS SURFACE
-  SEED AND MULCH
-  EXISTING CRUSHED AGGREGATE
-  PROPOSED ASPHALT
-  EXISTING CONCRETE
-  RIP RAP
-  EROSION MAT
-  CONCRETE ENDWALL/HEADWALL
-  PERFORATED STANDPIPE OUTLET
-  PROPOSED SPOT ELEVATION
-  HIGH POINT
-  RUNOFF FLOW DIRECTION



Drawing Status:	Drawn By: KJG	Revision
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Authority Approved	Date: 2024-03-14	
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SITE PLAN		
SIEWERT REAL ESTATE, LLC		
3424 N. SERVICE DRIVE		
RED WING, MN 55066		
Client: SIEWERTS GARAGE		
Project ID: 2007-23-01		

NOTES

EXISTING WATER SERVICE LOCATED ALONG SOUTH SIDE OF EXISTING BUILDING AND BEARS APPROXIMATELY NORTHEAST TOWARD RESIDENCE EAST OF PROPERTY LINE. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING WATER SERVICE. CONTRACTOR SHALL REPAIR OR REPLACE ALL WATER SERVICE PIPE DAMAGED OR REMOVED DURING EXCAVATION. IF INTERFERENCE EXISTS BETWEEN EXISTING WATER SERVICE AND PROPOSED STORM SEWER, CONTRACTOR SHALL RELOCATE WATER SERVICE BELOW STORM SEWER TO DEPTH REQUIRED TO ELIMINATE INTERFERENCE. CONTRACTOR SHALL INSTALL 4" OF R-20 OR GREATER POLYSTYRENE FOAM BOARD INSULATION WHERE WATER SERVICE INTERSECTS WITH STORM SEWER.

ALL GRADES, PROPOSED CONTOURS, AND SPOT ELEVATIONS ARE FINISHED GRADE ELEVATIONS.

AVOID PARKING AND OPERATION OF EQUIPMENT IN INFILTRATION AREA TO PREVENT COMPACTION. DO NOT PLACE FILL OR STOCKPILE SOIL IN INFILTRATION OR RETENTION AREA.

EXISTING FENCE TO BE RELOCATED BY OWNER.

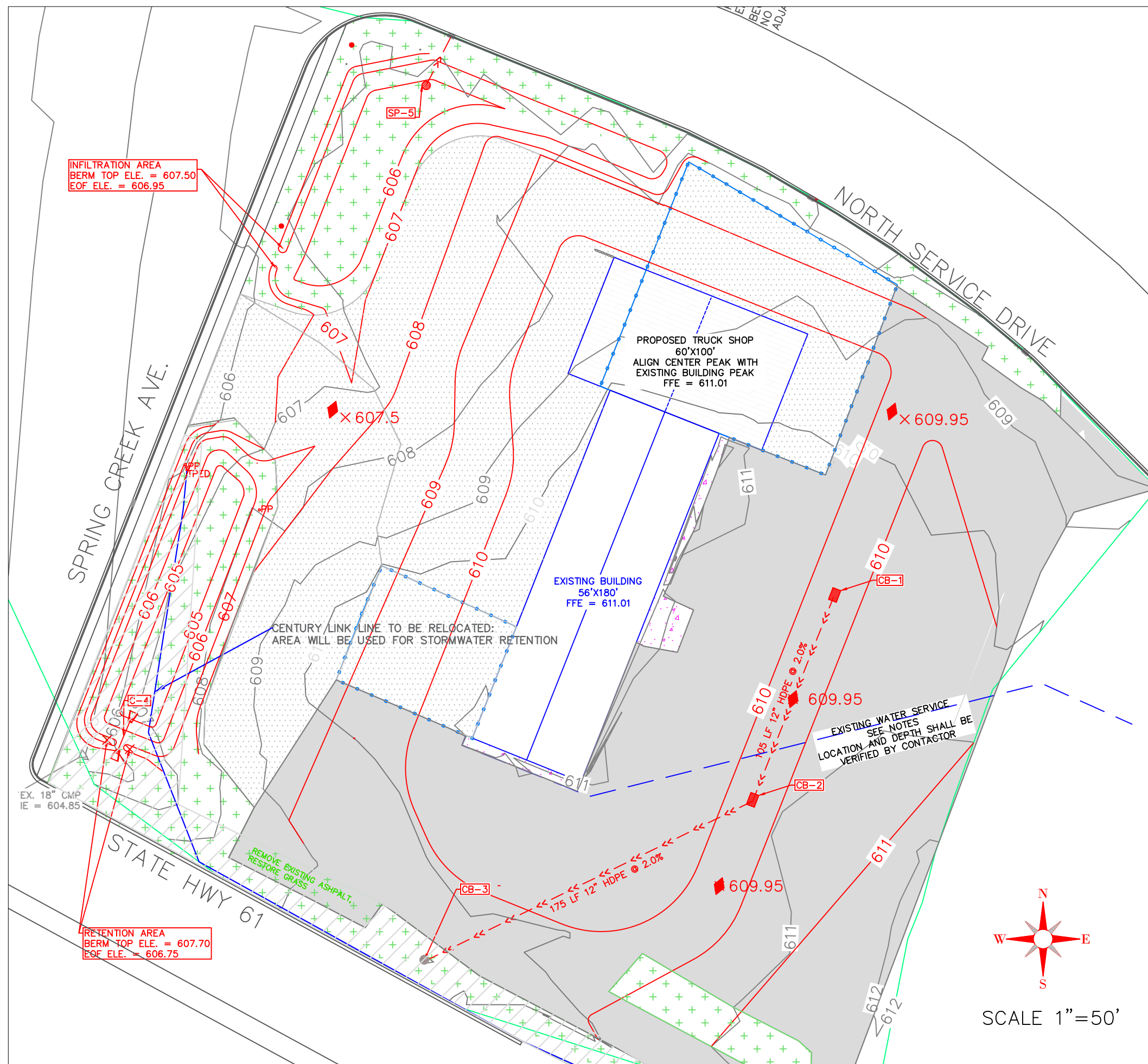
OVERHEAD AND UNDERGROUND UTILITIES ARE PRESENT ON SITE. CONTRACTOR SHALL USE CAUTION WHEN WORKING NEAR OVERHEAD OR UNDERGROUND UTILITIES. CONTRACTOR SHALL SUBMIT SAFETY PLAN FOR ENGINEER REVIEW. MULTIPLE UTILITIES ARE LOCATED ON THE SOUTH AND WEST AREAS OF THE SITE. CONTRACTOR IS RESPONSIBLE FOR AVOIDANCE OF UTILITIES AND SHALL NOT DAMAGE EXISTING UTILITIES. REPAIR OR COST OF REPAIR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR IS RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL UTILITIES. CONTRACTOR SHALL PROTECT EXISTING SIDEWALK FROM DAMAGE DUE TO OPERATION OF EQUIPMENT OR OTHER CAUSES.

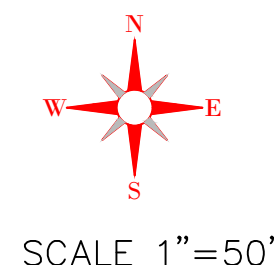
CONCRETE APRONS WILL BE RECONSTRUCTED PRIOR TO PAVING. INCLUDE CONCRETE IN BID.

USE SELECT GRANULAR FILL IN AREA OF FUTURE BUILDING PAD. FILL SHALL BE COMPACTED IN PLACE.

EXISTING WATER SERVICE IS LOCATED ALONG SOUTH SIDE OF EXISTING SHOP AND EXTENDS NORTHEAST TOWARD PRIVATE RESIDENCE. CONTRACTOR SHALL VERIFY LOCATION OF WATER SERVICE. WATER SERVICE SHALL BE RECONSTRUCTED TO DEPTH AS NEEDED TO AVOID CONFLICT WITH PROPOSED STORMWATER PIPE. INSULATION SHALL BE PLACED BETWEEN WATER SERVICE PIPE AND STORMWATER PIPE TO PREVENT FREEZING.



BURIED UTILITY



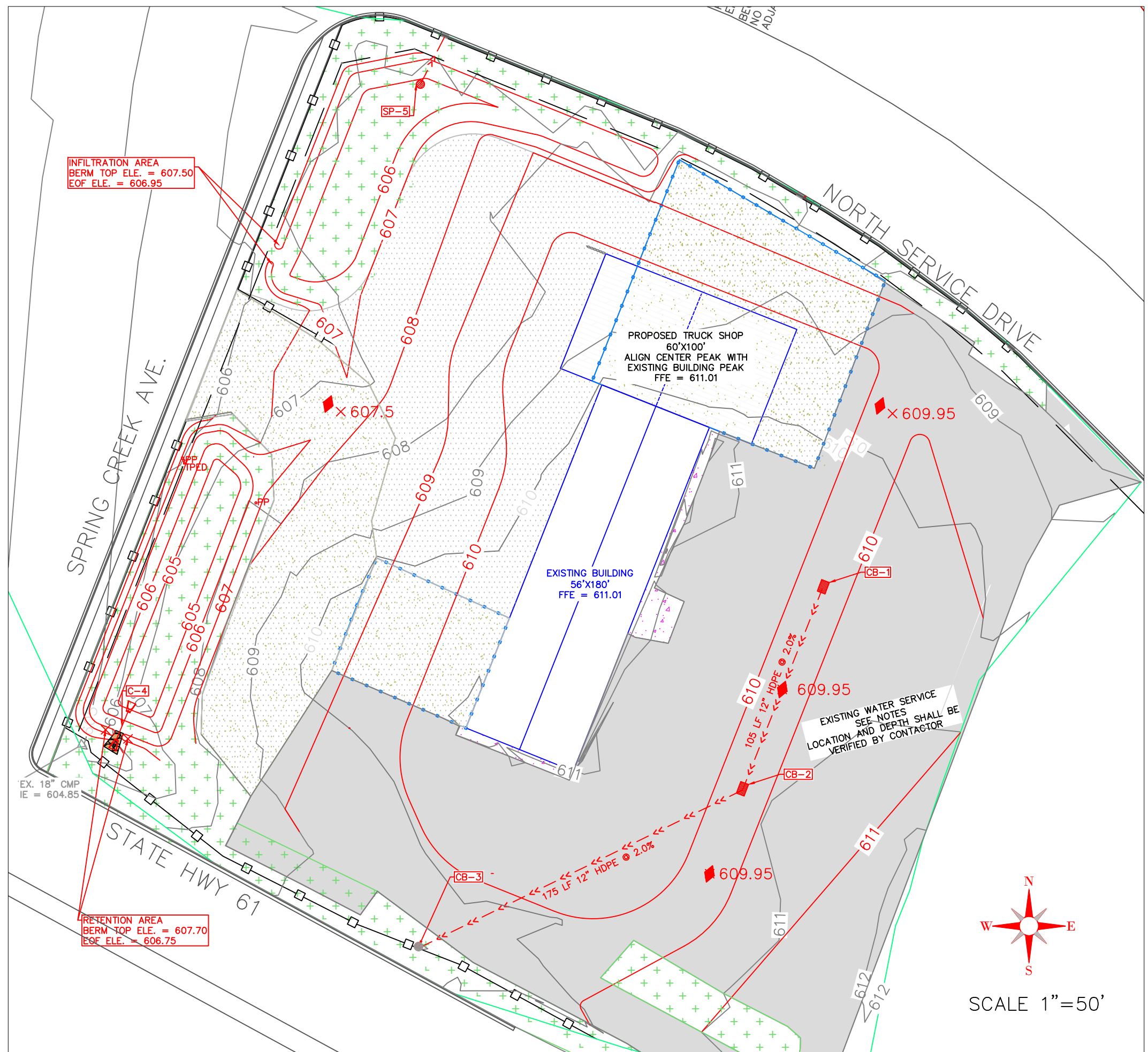
GRADING PLAN SIEWERT REAL ESTATE, LLC 3424 N. SERVICE DRIVE RED WING, MN 55066 Client: SIEWERTS GARAGE Project ID: 2007-23-01	Drawing Status:	Drawn By: KJG	Revision
	Preliminary	Checked By:	
	Authority Approved	Date: 2024-03-14	
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ESTIMATE OF QUANTITIES

- 1,074 LF SILT FENCE
- 0 SF EROSION MAT
- 2.2 YD RIP RAP
- .67 AC SEEDING
- 0 LF SEDIMENT CONTROL LOG
- 4 EA 2'X3' INLET PROTECTION DEVICE
- 7 EA INLET PROTECTION DEVICE

CONSTRUCTION SEQUENCE

1. INSTALL EROSION CONTROL MEASURES
2. PERFORM SITE GRADING.
3. CONSTRUCT STORMWATER CONVEYANCE SYSTEM.
4. CONSTRUCT TRUCK SHOP AND CONCRETE APRONS.
5. CONSTRUCT PAVEMENTS AND CRUSHED AGGREGATE SURFACES.
6. RESTORE TOPSOIL.
7. PERFORM SEEDING/LANDSCAPING/TURF RESTORATION.
8. PERFORM MAINTENANCE AND REMOVE SEDIMENT FROM STORMWATER MANAGEMENT SYSTEM INCLUDING STORM SEWER AND REGIONAL POND.
9. REMOVE EROSION CONTROL MEASURES AFTER SOILS ARE STABILIZED.



EROSION CONTROL PLAN AND SWPPP	Drawing Status:	Drawn By: KJG----	Revision
	Preliminary	Checked By:	
SIEWERT REAL ESTATE, LLC	Authority Approved	Date: 2024-03-14	
3424 N. SERVICE DRIVE	Final Design		
RED WING, MN 55066	Issued for Construction		
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Project ID: 2007-23-01			

SWPPP NOTES

THE IMPROVEMENTS IN THIS SWPPP INCLUDE CONSTRUCTION EROSION CONTROL AND POST CONSTRUCTION EROSION CONTROL PRACTICES.

EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE MINNESOTA STORMWATER MANUAL, THIS SWPPP, AND APPLICABLE PERMIT COVERAGE.

MAINTAIN A COPY OF THE GRADING PLAN, SWPPP, AND STORMWATER MANAGEMENT PLAN WITH REQUIRED DOCUMENTATION AT THE CONSTRUCTION SITE THROUGH THE PROJECT DURATION. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PLANS, SPECIFICATIONS, APPLICABLE LAWS, ORDINANCES, AND REGULATIONS PERTAINING TO EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT AFFECTING THE WORK.

INSTALL ALL EROSION CONTROL MEASURES PRIOR TO COMMENCEMENT OF LAND DISTURBING ACTIVITIES AND MAINTAIN UNTIL ALL ALTERED AREAS HAVE BEEN RESTORED. ALL DISTURBED AREAS TO BE LANDSCAPED SHALL BE SEEDED AND RESTORED.

CONSTRUCT INFILTRATION AREAS AFTER COMPLETION AND STABILIZATION OF OTHER GRADING ACTIVITIES. PROTECT INFILTRATION AREAS FROM SEDIMENTATION BY STABILIZING ADJACENT DISTURBED AREAS AS SOON AS PRACTICABLE. AVOID COMPACTION OF INFILTRATION AREAS.

PREVENT TRACKING OF DIRT ONTO PUBLIC ROADWAYS. REMOVE ALL TRACKED SOIL FROM PUBLIC ROADWAYS WITHIN 8 HOURS, AND SWEEP WITHIN 24 HOURS.

INSTALL SILT FENCE IN DESIGNATED AREAS PRIOR TO COMMENCEMENT OF LAND DISTURBING ACTIVITIES. ADDITIONAL SILT FENCE MAY BE REQUIRED.

INSTALL INLET PROTECTION AT ALL EXISTING CATCH BASINS, CULVERTS, AND INLETS PRIOR TO COMMENCEMENT OF CONSTRUCTION. INSTALL INLET PROTECTION AT NEW INLETS, CULVERTS, AND VERTICAL STANDPIPES IMMEDIATELY AFTER CONNECTION TO SURFACE WATERS OR STORM SEWER.

INSTALL SEDIMENT CONTROL LOGS PRIOR TO COMMENCEMENT OF LAND DISTURBING ACTIVITIES IN DESIGNATED AREAS TO PREVENT SILT FROM ENTERING BMPs.

INSPECT ALL SEDIMENT AND EROSION CONTROL DEVICES FOR STABILITY AND OPERATION WEEKLY AND IMMEDIATELY FOLLOWING EVERY 1/2" OR MORE RAINFALL EVENT. MAKE NEEDED REPAIRS IMMEDIATELY TO MAINTAIN ALL BMP'S AS DESIGNED. PREPARE WRITTEN DOCUMENTATION OF WEEKLY INSPECTION, CORRECTIVE ACTIONS, AND REPAIRS.

REPAIR, REPLACE, OR REINFORCE SILT FENCE WHEN IT BECOMES NONFUNCTIONAL OR SEDIMENT DEPTH REACHES .5 FT ABOVE ORIGINAL GROUND. TAKE CORRECTIVE ACTION AS SOON AS PRACTICABLE.

FERTILIZE, RESEED, AND MULCH ALL ERODED AREAS IMMEDIATELY IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.

INSTALL TEMPORARY OR PERMANENT ENERGY DISSIPATION AT PIPE OUTLETS WITHIN 24 HOURS OF PIPE INSTALLATION AND PRIOR TO CONNECTION WITH SURFACE WATERS.

REPAIR DAMAGED RIP RAP AREAS IMMEDIATELY.

SEED AND MULCH WITHIN 7 DAYS FOLLOWING ESTABLISHMENT OF FINAL GRADES FOR ANY PORTION OF THE SITE.

SEED AND PROTECT WITH EROSION MAT ALL DISTURBED SLOPES IN EXCESS OF 4:1. AS AN ALTERNATIVE, SLOPES MAY BE HYDROSEEDDED AND MULCHED WITH A SUITABLY DESIGNED MIXTURE OR SODDED AND STAKED.

APPLY PERMANENT SEED MIXTURE AT A RATE OF 100 LBS/ACRE. APPLY TYPE 1 MULCH AT A RATE OF 2 TONS/ACRE AND DISK ANCHOR.

STOCKPILE MATERIALS AWAY FROM SLOPES AND NATURAL DRAINAGE WAYS. CONTROL EROSION OF STOCKPILES WITH SILT FENCE PERIMETER AT THE BASE OF STOCKPILES.

CONTROL DUST AS NEEDED AND PERFORM SWEEPING OF MATERIALS TRACKED ONTO ROADWAYS.

EXCESS NUTRIENTS FROM LANDSCAPING INSTALLATIONS, SOIL ADDITIVES, FERTILIZATION, MULCHING SHALL BE STORED IN COVERED CONTAINMENT.

FUELS AND LUBRICANTS SHALL BE STORED IN COVERED CONTAINMENT. MONITOR VEHICLES AND EQUIPMENT FOR LEAKS AND SPILLS. ALL SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN COMPLIANCE WITH MPCA REQUIREMENTS.

COLLECT SOLID WASTE (SEDIMENT, ASPHALT, CONCRETE MILLINGS, DEBRIS, CONSTRUCTION AND DEMOLITION DEBRIS) AND DISPOSE OF IN COMPLIANCE WITH MPCA DISPOSAL REQUIREMENTS AND NPDES-CSW PART 12.1.

CONSTRUCTION MATERIALS MUST BE DISPOSED OF PROPERLY AND SHALL NOT BE BURIED ON SITE.

PORTABLE TOILETS AND SANITARY WASTE SHALL BE MANAGED BY LICENSED SANITARY WASTE MANAGEMENT HANDLER. PORTABLE TOILETS SHALL BE STAKED DOWN TO PREVENT TIPPING OR SPILLING. SECONDARY CONTAINMENT SHALL BE PROVIDED.

PROVIDE SECONDARY CONTAINMENT AROUND ALL STATIONARY EQUIPMENT. PROVIDE CONTAINMENT FOR ALL HAZARDOUS MATERIALS AND TOXIC WASTE.

CLEAN UP ALL SPILLS IMMEDIATELY AND REPORT ALL SPILLS IN ACCORDANCE WITH MNDOT AND MPCA SPECIFICATIONS. PROVIDE SPILL KIT AT EACH WORK LOCATION.

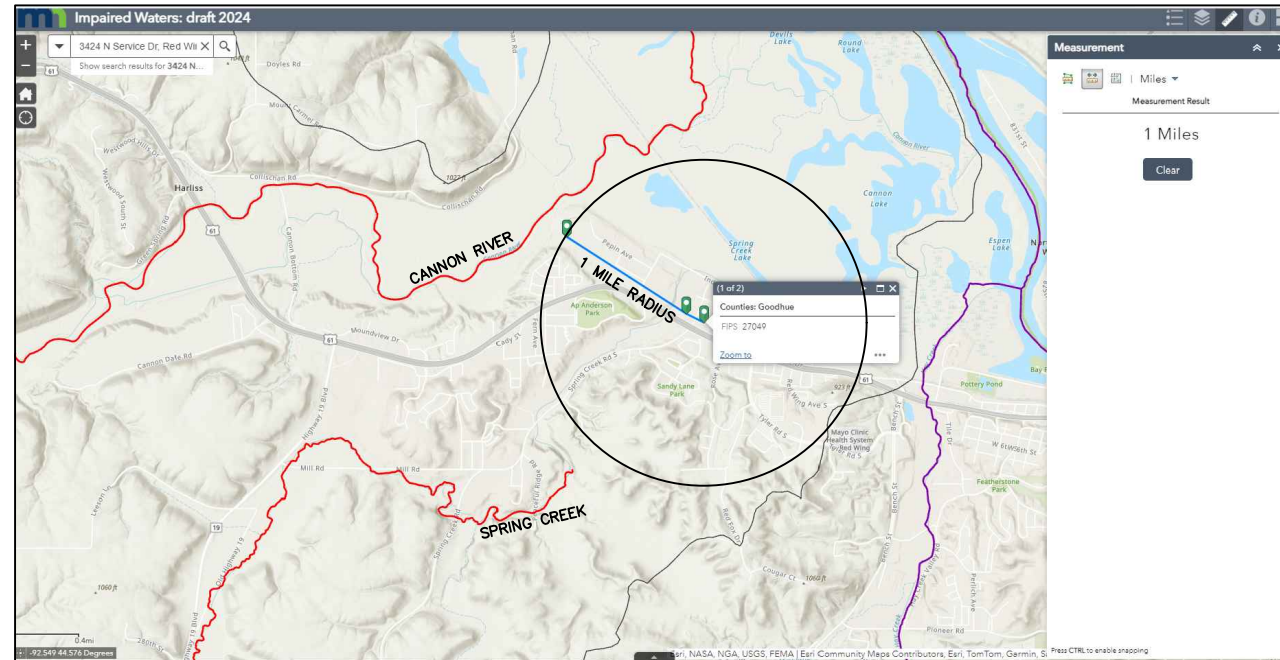
PROVIDE SECURE STORAGE WITH RESTRICTED ACCESS TO ALL HAZARDOUS MATERIALS AND TOXIC WASTES. RETURN ALL HAZARDOUS WASTES AND TOXIC WASTES TO DESIGNATED SECURE STORAGE AREA AT THE END OF THE WORK DAY UNLESS INFEASIBLE. STORE ALL HAZARDOUS MATERIALS AND TOXIC WASTES IN SEALED CONTAINERS WITH SECONDARY CONTAINMENT. CLEAN UP SPILLS IMMEDIATELY. STORE, COLLECT, AND DISPOSE OF ALL SOLID WASTE.

CREATE AND FOLLOW A WRITTEN DISPOSAL PLAN FOR ALL WASTE MATERIALS. THE PLAN SHALL INCLUDE METHOD OF DISPOSAL FOR MATERIALS AT THE DISPOSAL SITE.

CONCRETE WASHOUT OPERATIONS SHALL BE CONTAINED IN A LEAK PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER AND MUST BE PERFORMED IN ACCORDANCE WITH THE NPDES PERMIT. SLURRY FROM CONCRETE OPERATIONS MUST BE VACUUMED UP IMMEDIATELY. NO CONCRETE WASHOUT SHALL COME IN CONTACT WITH THE GROUND AND SHALL BE PROPERLY DISPOSED OF.

NO ENGINE DEGREASING IS ALLOWED ON SITE.

EQUIPMENT AND VEHICLE WASHING SHALL OCCUR ONLY IN DESIGNATED AREAS AS DETERMINED BY THE CONTRACTOR. VEHICLE AND EQUIPMENT WASHING AREA SHALL BE DESIGNATED ON CONTRACTOR SUBMITTED PLAN AND APPROVED BY THE ENGINEER.



RECEIVING WATERS WITHIN 1 MILE
 SPRING CREEK
 PUBLIC WATERS BASIN ID: 25001100
 UNNAMED WETLANDS
 NO IMPAIRED WATERS WITHIN 1 MILE

SOILS
 TYPE N607A MERIDIAN SILT LOAM 0-3% SLOPE,
 HSG B

SITE SUMMARY
 SITE TOTALS
 TOTAL PROJECT AREA= 4.07 AC
 EXISTING IMPERVIOUS AREA = 2.59 AC
 EXISTING PERVIOUS AREA = 1.48 AC
 ADDED IMPERVIOUS= .57 AC
 POST CONSTRUCTION IMPERVIOUS AREA= 3.16 AC
 $V_{wq} = 24,874 \text{ FT}^2 \times (\frac{1}{12}) \text{ FT} = 2,072.8 \text{ FT}^3$
 INFILTRATION VOLUME = 5,118 $\text{ FT}^3 > 2,072.8 \text{ FT}^3$

SWPPP SIEWERT REAL ESTATE, LLC 3424 N. SERVICE DRIVE RED WING, MN 55066 Client: SIEWERTS GARAGE Project ID: 2007-23-01	Drawing Status:	Drawn By: KJG----	Revision
	Preliminary	Checked By:	
X	Authority Approved	Date: 2024-03-14	
	Final Design		
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STORMWATER STRUCTURE SUMMARY

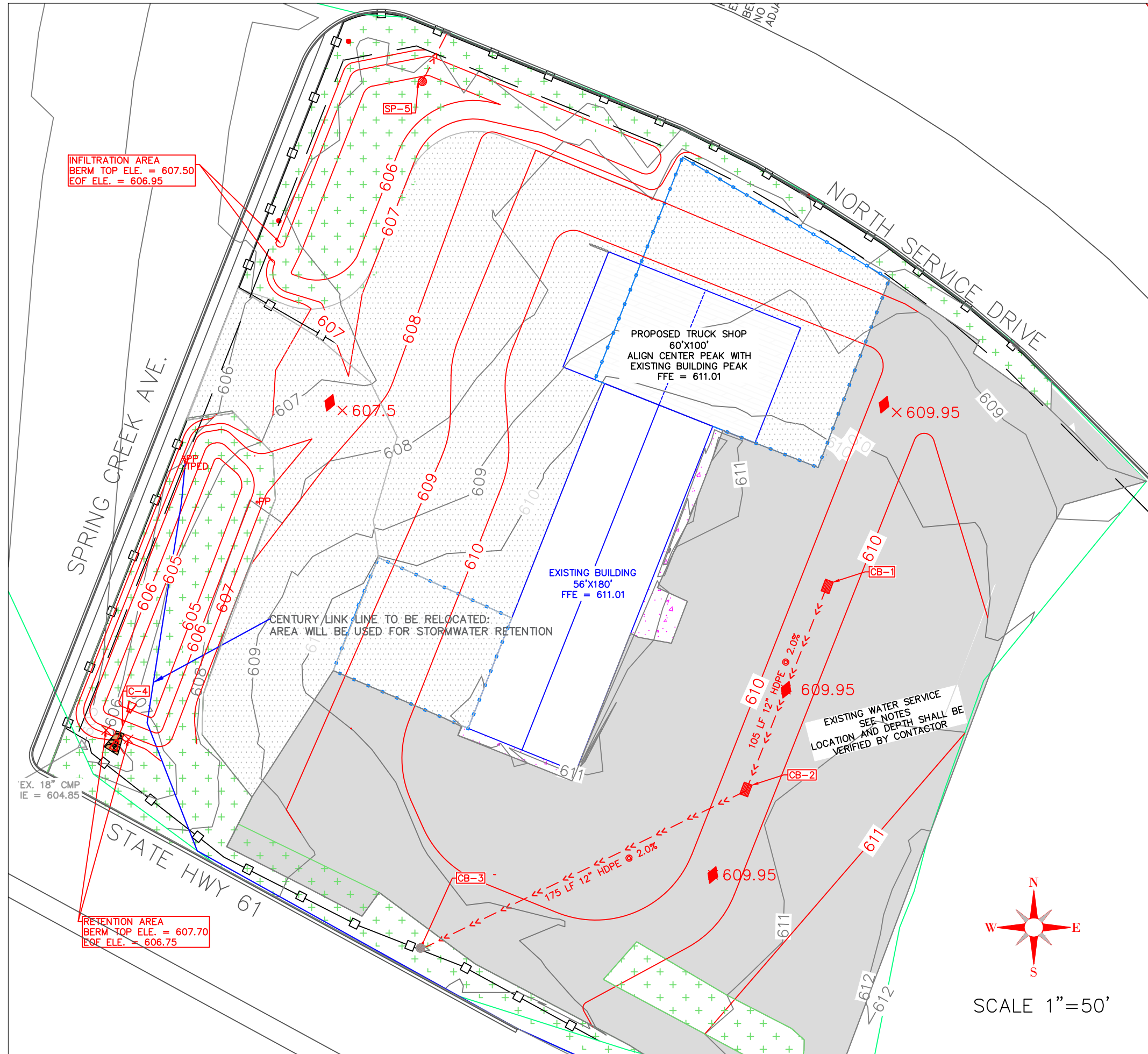
CB-1
 2'x3' CBMH
 TOP CASTING ELE. 609.80
 4'DIA X5' DEPTH CBMH
 OUTLET INV. 605.80

CB-2
 2'x3' CBMH
 TOP CASTING ELE. 609.80
 4'DIA X 7' DEPTH CBMH
 INLET INV. 603.7
 OUTLET INV. 603.5

CB-3
 CONNECT TO EXISTING MANHOLE
 REUSE EXISTING CASTING
 TOP CASTING ELE. 608.93
 INLET INV. 600.00

C-4
 6" HDPE MITERED HEAD WALLS CONFORMING TO FILL
 INLET INV. 605.50
 OUTLET INV. 605.00

SP-5
 6" PERFORATED STANDPIPE
 CONNECT TO EX. CB ON NORTH SERVICE DRIVE
 29.5 LF 6" SDR 35, CONNECT TO EX. STORM
 INLET INV. 605.90
 OUTLET INV. 604.5



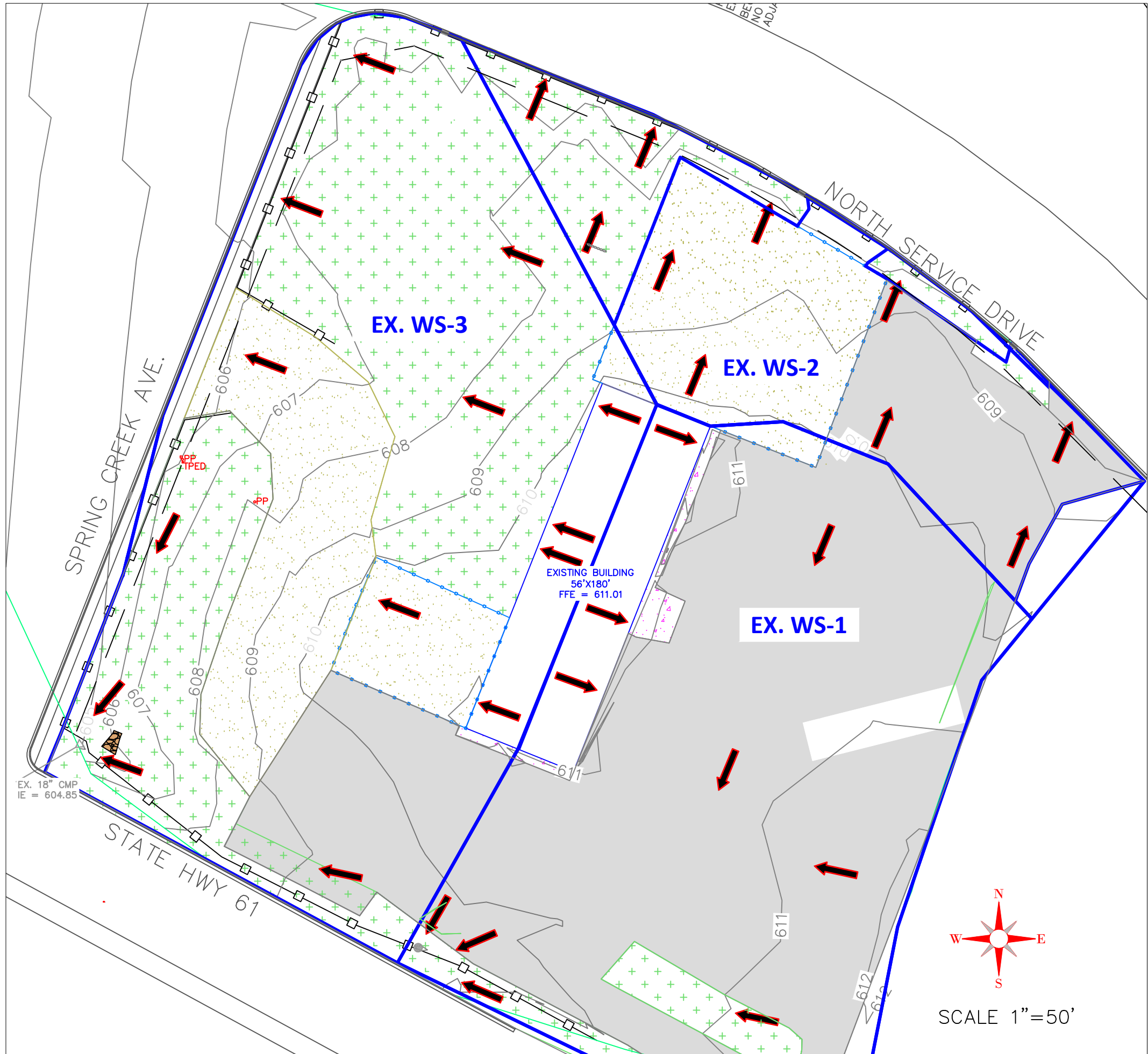
STORMWATER MANAGEMENT PLAN		Drawing Status:		Revision	
SIEWERT REAL ESTATE, LLC		Preliminary	Drawn By: KJG----		
3424 N. SERVICE DRIVE		Authority Approved	Checked By:		
RED WING, MN 55066		Final Design	Date: 2024-03-14		
Client: SIEWERTS GARAGE		Issued for Construction			
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WATERSHED SUMMARY OF EXISTING SITE

EXISTING WS-1
DRAINS OFFSITE TO CB-3
TOTAL AREA = 65,206FT²

EXISTING WS-2
DRAINS OFFSITE TO NORTH
TOTAL AREA = 31,531FT²

EXISTING WS-3
DRAINS OFFSITE TO WEST
TOTAL AREA = 80,654FT²



STORMWATER MGMT PLAN - EXISTING		Drawing Status:		Drawn By: KJG----		Revision	
SIEWERT REAL ESTATE, LLC		Preliminary		Checked By:			
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WATERSHED SUMMARY OF PROPOSED SITE

PROPOSED WS-1
DRAINS TO RETENTION AREA
TOTAL AREA = 53,221FT²

PROPOSED WS-2
DRAINS TO INFILTRATION BASIN, OVERFLOW TO SP-5
TOTAL AREA = 36,249FT²

PROPOSED WS-3
DRAINS OFFSITE TO NORTH
TOTAL AREA = 19,974FT²

PROPOSED WS-4
DRAINS TO CB-1
TOTAL AREA = 23,7801FT²

PROPOSED WS-5
DRAINS TO CB-2
TOTAL AREA = 18,483FT²

PROPOSED WS-6
DRAINS CB-3
TOTAL AREA = 25,689FT²

HYDRAULIC ANALYSIS SUMMARY
RUNOFF CALCULATIONS WERE PERFORMED UTILIZING HYDROCAD. THE PRE- AND POST DEVELOPMENT PEAK RUNOFF RATES WERE ANALYZED. THE PROPOSED STORMWATER MANAGEMENT SYSTEM MEETS THE REQUIREMENTS FOR PEAK RATE REDUCTION FOR THE 2, 10, AND 100 YEAR RAINFALL EVENTS. THE SUMMARY RESULTS ARE SHOWN IN THE TABLES BELOW. THE PROPOSED STORMWATER IMPROVEMENTS PASS THE FLOW RESULTING FROM A 100 YEAR RAINFALL EVENTS WITHOUT EXCEED THE BERM TOP ELEVATIONS OF THE INFILTRATION AND RETENTION AREAS.

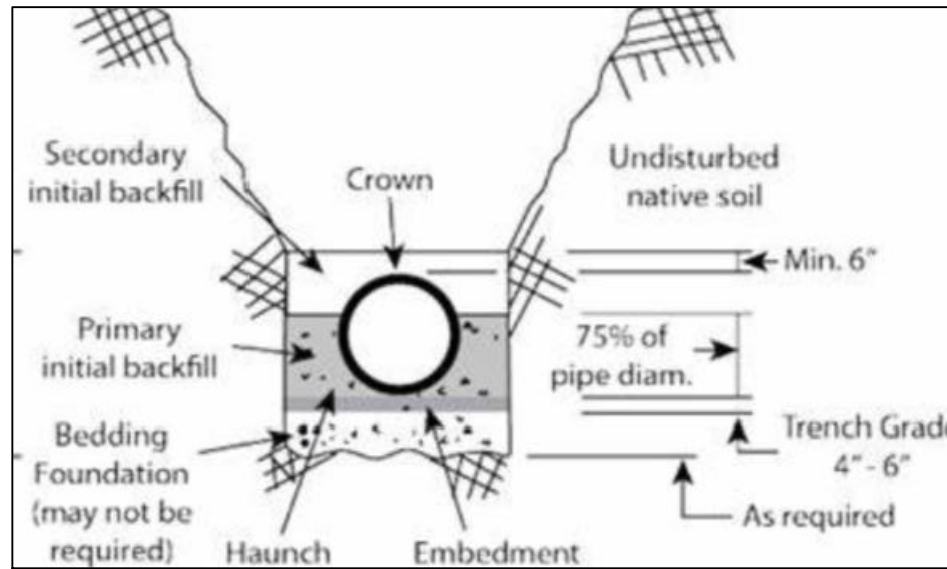
POLLUTANT REMOVAL IS ADDRESSED IN THE SWPPP IN THIS PLAN SET.

PREDEVELOPMENT FLOW RATE SUMMARY (CFS)				
WATERSHED	STORM EVENT			
	2 YEAR	10 YEAR	100 YEAR	
EXISTING WS-1	6.06	9.41	16.82	
EXISTING WS-2	2.52	4.42	8.48	
EXISTING WS-3	1.95	4.47	10.91	
TOTAL RUNOFF	10.53	18.30	36.21	
PEAK RUNOFF RATE	9.15	15.62	30.67	

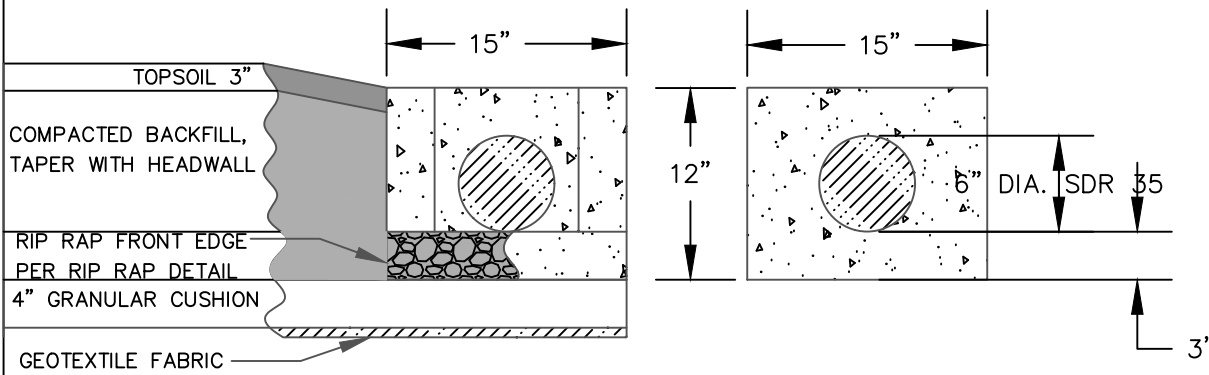
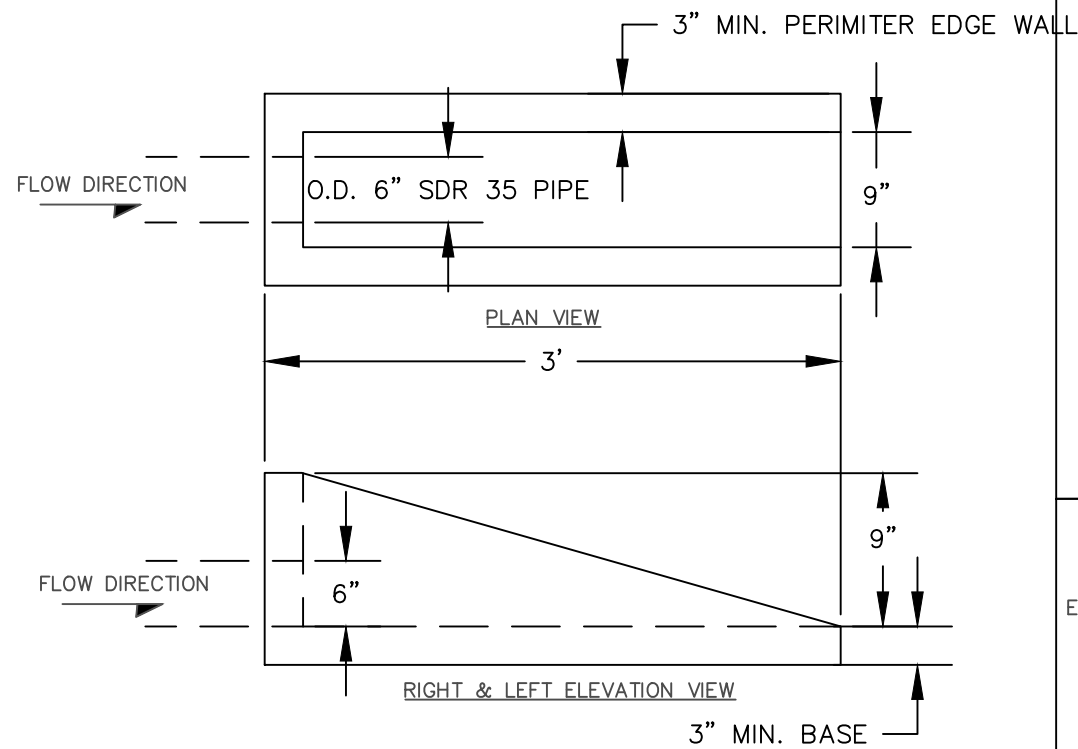
POST DEVELOPMENT FLOW RATE SUMMARY (CFS)				
WATERSHED	STORM EVENT			
	2 YEAR	10 YEAR	100 YEAR	
PROP WS-1	2.72	5.01	10.23	
PROP WS-2	2.65	4.71	9.55	
PROP WS-3	1.85	2.99	6.98	
PROP WS-4	2.59	3.95	5.43	
PROP WS-5	2.02	3.07	7.65	
PROP WS-6	2.84	4.33	5.13	
TOTAL RUNOFF	14.67	24.06	44.97	
PEAK RUNOFF RATE WITH STORMWATER MANAGEMENT SYSTEM	9.05	12.67	22.00	



STORMWATER MGMT. PLAN - PROPOSED	Drawing Status:	Drawn By: KJG	Revision
	Preliminary	Checked By:	
	Authority Approved	Date: 2024-03-14	
	Final Design		
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PIPE EMBEDMENT DETAIL



CONCRETE HEADWALL/ENDWALL DETAIL

RIP RAP OUTLET DETAIL

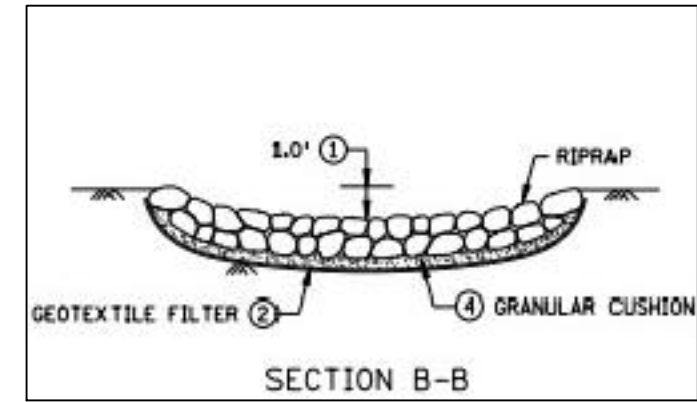
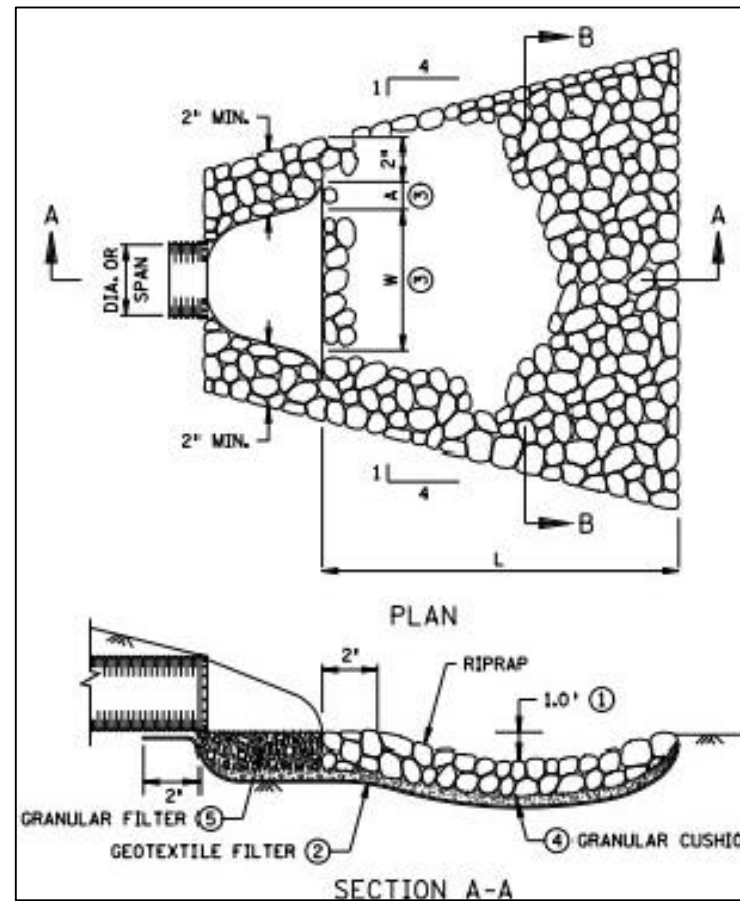
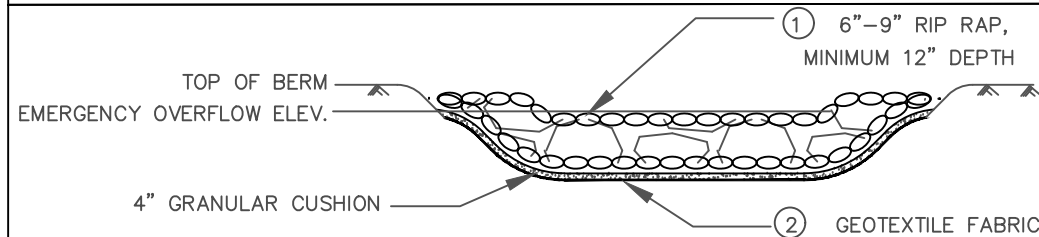


TABLE OF QUANTITIES
RIPRAP AT CSP OUTLETS

DIA. OF ROUND PIPE (IN.)	L (FT.)	CLASS II d ₅₀ = 6"			CLASS III d ₅₀ = 9"			CLASS IV d ₅₀ = 12"		
		GEO-TEXTILE FILTER (SQ. YD.)	GRANULAR FILTER UNDER APRON (CU. YD.)	12" DEPTH RIPRAP (CU. YD.)	GEO-TEXTILE FILTER (SQ. YD.)	GRANULAR FILTER UNDER APRON (CU. YD.)	18" DEPTH RIPRAP (CU. YD.)	GEO-TEXTILE FILTER (SQ. YD.)	GRANULAR FILTER UNDER APRON (CU. YD.)	24" DEPTH RIPRAP (CU. YD.)
12	8	16.4	0.2	3.0	19.2	0.2	4.5	22.3	0.3	6.0
15	8	17.8	0.2	3.3	20.7	0.3	4.9	23.9	0.4	6.6
18	10	22.9	0.3	4.6	26.2	0.5	6.8	29.7	0.6	9.1
21	10	24.5	0.4	4.9	27.9	0.6	7.3	31.5	0.8	9.7
24	12	30.4	0.5	6.4	34.2	0.8	9.5	38.2	1.0	12.7
30	14	38.9	0.8	8.5	43.2	1.2	12.7	47.7	1.5	16.9
36	16	48.3	1.1	10.8	53.1	1.6	16.2	58.1	2.1	21.6
42	18	58.7	1.5	13.5	64.0	2.2	20.2	69.5	2.9	27.0
48	20	68.5	1.8	16.0	74.2	2.7	24.0	80.1	3.5	32.0

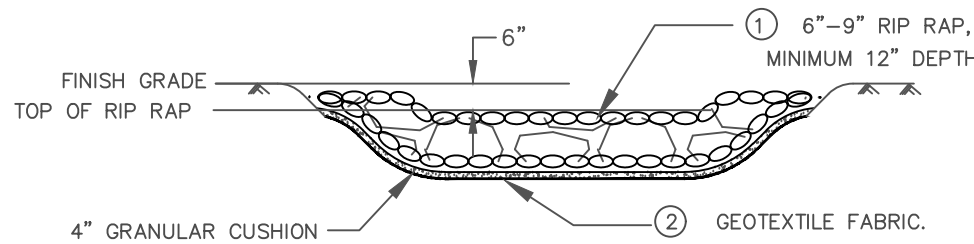
TABLE OF QUANTITIES
RIPRAP AT CSP-A OUTLETS

SPAN OF PIPE ARCH (IN.)	L (FT.)	CLASS II d ₅₀ = 6"			CLASS III d ₅₀ = 9"			CLASS IV d ₅₀ = 12"		
		GEO-TEXTILE FILTER (SQ. YD.)	GRANULAR FILTER UNDER APRON (CU. YD.)	12" DEPTH RIPRAP (CU. YD.)	GEO-TEXTILE FILTER (SQ. YD.)	GRANULAR FILTER UNDER APRON (CU. YD.)	18" DEPTH RIPRAP (CU. YD.)	GEO-TEXTILE FILTER (SQ. YD.)	GRANULAR FILTER UNDER APRON (CU. YD.)	24" DEPTH RIPRAP (CU. YD.)
17	8	18.7	0.2	3.1	20.1	0.3	4.7	23.2	0.3	6.3
21	10	21.9	0.3	4.5	25.1	0.4	6.7	28.6	0.5	9.0
24	10	23.5	0.3	4.9	26.8	0.5	7.4	30.4	0.6	9.8
28	12	29.2	0.4	6.4	32.9	0.6	9.6	36.8	0.8	12.9
35	14	36.8	0.6	8.5	41.0	0.9	12.8	45.4	1.2	17.1
42	16	46.5	0.9	11.2	51.1	1.3	16.8	56.0	1.7	22.5
49	18	55.5	1.1	13.8	60.6	1.7	20.7	66.0	2.2	27.6
57	20	66.6	1.5	17.0	72.2	2.3	25.5	78.0	3.0	34.0



EMERGENCY OVERFLOW OUTLET DETAIL

SEE GRADING PLAN FOR TOP OF BERM AND EOF ELEVATION



RIP RAP CHANNEL DETAIL

RIP RAP GENERAL NOTES

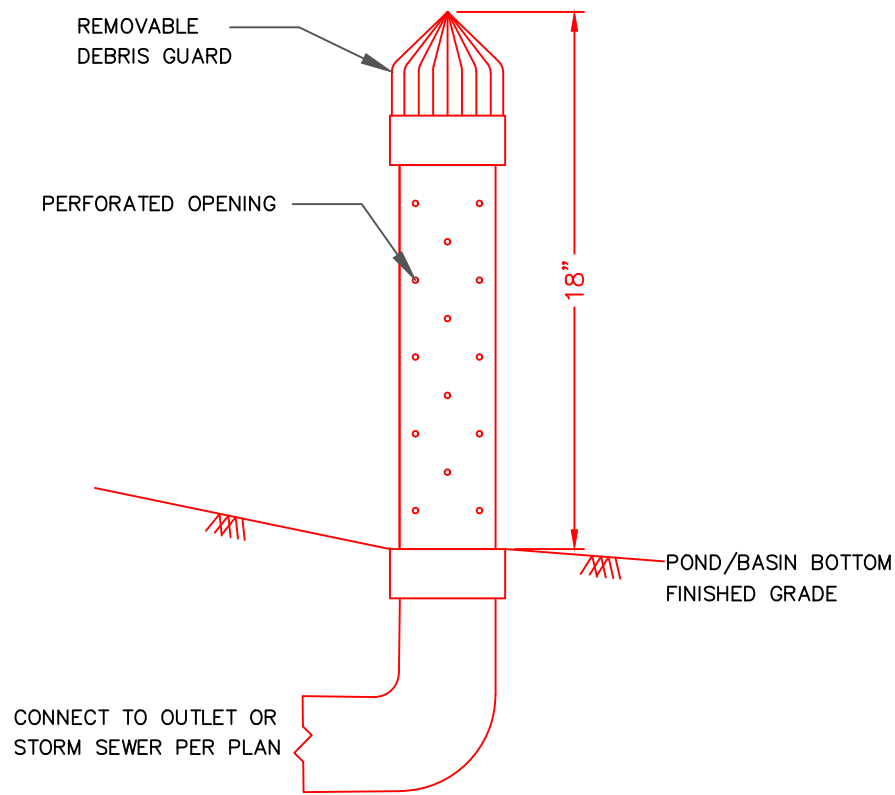
- FOR 6" DIA PIPE, USE VALUES FOR 12" DIA. PIPE.
- GEOTEXTILE FABRIC SHALL COVER THE BOTTOM AND SIDES OF THE AREA EXCAVATED FOR THE RIP RAP AND GRANULAR FILTER MATERIALS.
- DIMENSION W SHALL BE EQUAL TO THE PIPE DIAMETER PLUS 4". DIMENSION A SHALL BE A MINIMUM OF 3".
- GRANULAR FILTER MAY BE USED AS CUSHION. CUSHION LAYER IS INCIDENTAL.
- GRANULAR FILTER OR RIP RAP TO EXTEND UNDER ENTIRE OPEN PORTION OF PIPE APRON. DEPTH OF MATERIAL UNDER APRON SHALL MATCH RIP RAP DEPTH. WHEN USING RIP RAP INCREASE RIP RAP QUANTITY ACCORDINGLY AND PLACE A 3" LAYER OF 1.5" CRUSHED AGGREGATE UNDER THE APRON TO AID IN GRADING FOR APRON PLACEMENT. CRUSHED ROCK IS INCIDENTAL.

Drawn By: KJG

Drawing Status: Preliminary Authority Approved Final Design Issued for Construction Record Plans

Checked By: Date: 2024-03-14

GRADING DETAILS
SIEWERT REAL ESTATE, LLC
3424 N. SERVICE DRIVE
RED WING, MN 55066
Client: SIEWERTS GARAGE
Project ID: 2007-23-01



6" DIA. PERFORATED STANDPIPE DETAIL

PERFORATED STANDPIPE NOTES

CONSTRUCT PERFORATED STANDPIPE USING SDR 35 PIPE AND FITTINGS WHERE PRACTICABLE

PERFORATED OPENING DIAMETER SHALL BE $\frac{3}{8}$ " TO $\frac{5}{8}$ ".

INSTALL PIPE PER PIPE EMBEDMENT DETAIL. HAND COMPACT FILL AS NEEDED ADJACENT TO PIPE AND FITTINGS. FINISHED GRADE SHALL BE LEVEL WITH COUPLING/FITTING TOP FLANGE TO PREVENT PLUGGING OF PERFORATED PIPE.

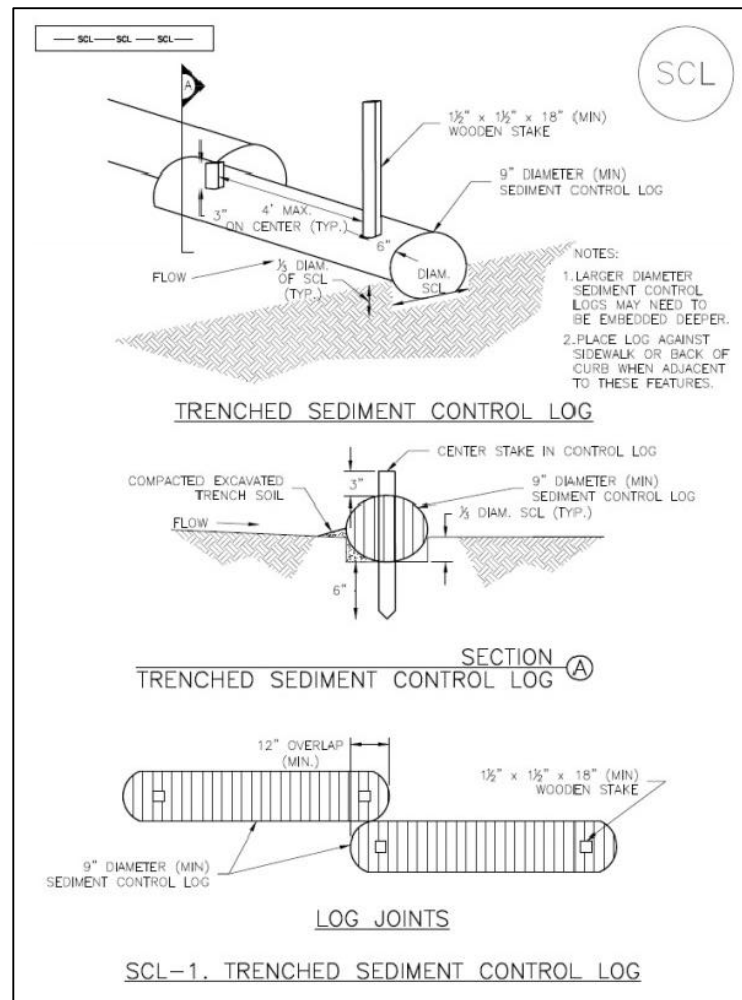
INSTALL REMOVABLE DEBRIS GUARD ON TOP OF STANDPIPE. DEBRIS GUARD MAY BE COMPRESSION FIT OR BOLTED TO PERFORATED STANDPIPE. DEBRIS GUARD MAY BE COATED METAL OR SYNTHETIC MATERIAL.

INSTALL PERFORATED STANDPIPE TO FACILITATE COMPLETE WATER LEVEL DRAWDOWN. BASIN SHALL NOT HOLD WATER MORE THAN 24 HOURS AFTER CONCLUSION OF RAINFALL EVENT.

PERFORATED STANDPIPE MAINTENANCE NOTES

DURING CONSTRUCTION WRAP PERFORATED STANDPIPE WITH GEOTEXTILE FABRIC AND SECURE FABRIC TO PREVENT SEDIMENT OR DEBRIS FROM ENTERING THE DRAWDOWN SYSTEM. INSPECT EACH WORK DAY AND MAINTAIN IN EFFECTIVE OPERATING CONDITION. CLEAR DEBRIS AND SEDIMENT AS SOON AS PRACTICABLE AND WITHIN 24 HOURS AFTER $\frac{1}{2}$ " RAINFALL EVENT.

REMOVE ANY SEDIMENT ABOVE THE TOP FLANGE OF THE ELBOW TO MAINTAIN FUNCTION OF PERFORATED OPENINGS. REMOVE FABRIC AT THE CONCLUSION OF CONSTRUCTION.



SEDIMENT CONTROL LOG DETAIL

SEDIMENT CONTROL LOG GENERAL NOTES

SEDIMENT CONTROL LOGS THAT ACT AS PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY.

SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR OR COCONUT FIBER, AND SHALL BE FREE OF AN NOXIOUS WEED SEEDS OR DEFECTS INCLUDING RIPS, HOLES, OR EXCESSIVE WEAR.

TRENCH SEDIMENT CONTROL LOGS INTO THE GROUND TO A DEPTH OF APPROXIMATELY $\frac{1}{3}$ OF THE DIAMETER OF THE LOG. IF TRENCHING IS NOT FEASIBLE AND/OR DESIRABLE, A LESSER ANCHORING METHOD MAY BE USED WITH ADDITIONAL STAKING. COMPOST LOGS GREATER THAT 8 LB/FT DO NOT NEED TO BE TRENCHED.

BACKFILL UPGRADIENT SIDE OF SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT ANGLE.

FOLLOW MANUFACTURERS GUIDANCE FOR STAKING. IF MANUFACTURER'S INSTRUCTIONS DO NO SPECIFY SPACING, STAKES SHALL BE PLACED 4' ON CENTER AND EMBEDDED A MINIMUM OF 6" INTO THE GROUND. A MINIMUM OF 3" OF STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG.

SEDIMENT CONTROL LOG MAINTENANCE NOTES

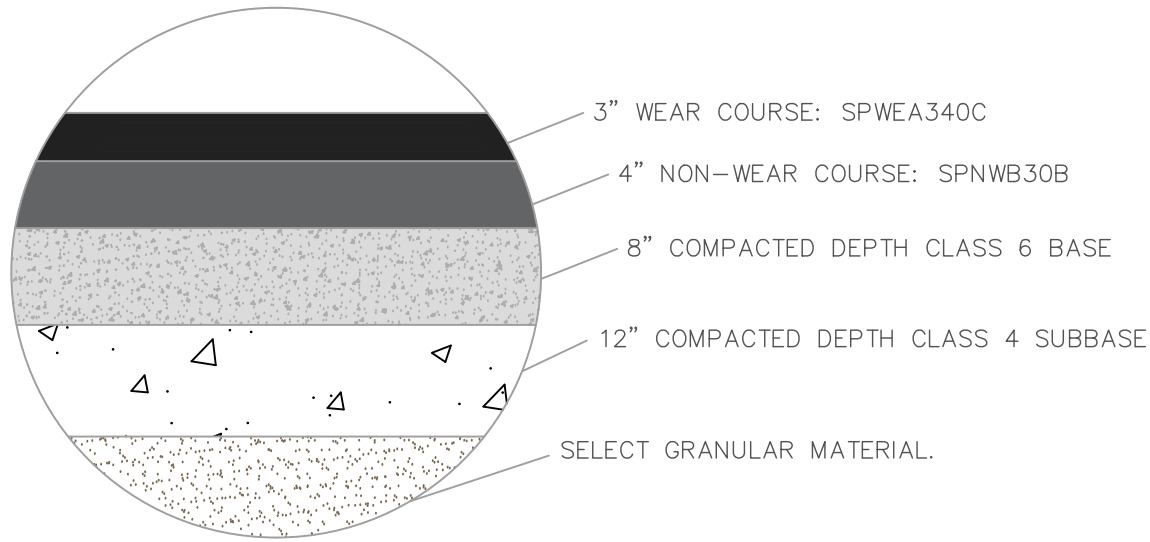
INSPECT BMPs EACH WORK DAY, AND MAINTAIN IN EFFECTIVE OPERATING CONDITION. INSPECT BMPs AS SOON AS PRACTICABLE OR WITHIN 24 HOURS AFTER $\frac{1}{2}$ " RAINFALL EVENT. PERFORM MAINTENANCE AS NECESSARY.

DOCUMENT OBSERVATIONS AND MAINTENANCE AS NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. DOCUMENT INSPECTIONS AND CORRECTIVE ACTIONS.

REMOVE UPSTREAM SEDIMENT WHEN SEDIMENT DEPTH REACHES $\frac{1}{2}$ THE HEIGHT OF THE LOG.

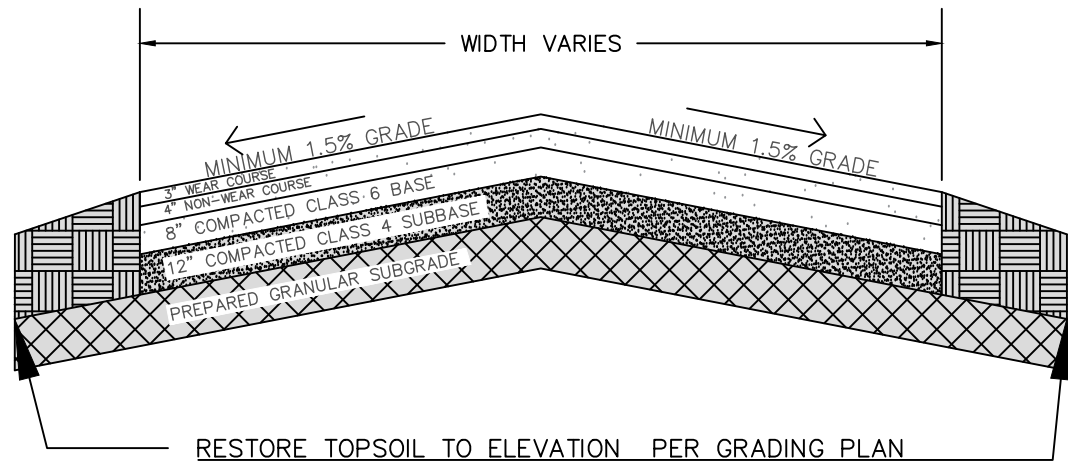
REMOVE SEDIMENT CONTROL LOGS AT THE CONCLUSION OF CONSTRUCTION OR AFTER DISTURBED AREAS HAVE BEEN RESTORED.

GRADING DETAILS AND NOTES SIEWERT REAL ESTATE, LLC 3424 N. SERVICE DRIVE RED WING, MN 55066 Client: SIEWERTS GARAGE Project ID: 2007-23-01	Drawing Status:	Drawn By: KJG	Revision
	Preliminary	Checked By:	
	Authority Approved	Date: 2024-03-14	
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PAVEMENT SURFACE DETAIL

MNDOT MIX DESIGN:
WEAR COURSE SPWEA340C
NON-WEAR COURSE SPNWB30B



TYPICAL ENTRANCE CROSS SECTION DETAIL

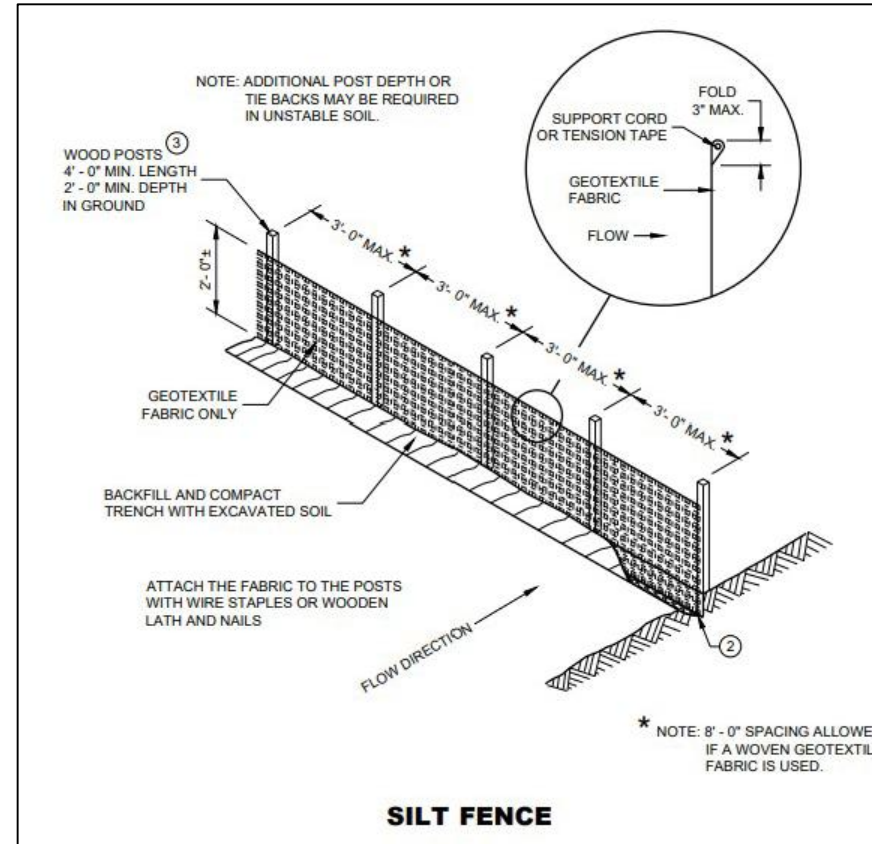
ASPHALT PAVEMENT GENERAL NOTES

PAVEMENT DEPTHS SHOWN ARE COMPACTED DEPTH. ROLLER COMPACTION SHALL BE PERFORMED ON EACH LIFT. APPLY TACK COAT BETWEEN LIFTS. MAXIMUM BITUMEN CONTENT OF COMPOSITE IS 3.5%.

MAXIMUM SURFACE DEVIATION ON A CONTINUOUS GRADE SHALL BE $\leq \frac{1}{4}$ ". THE METHOD OF SURFACE EVALUATION USE A 10' STRAIGHT EDGE WITH VERTICAL DISTANCE MEASURED FROM BOTTOM OF STRAIGHT EDGE TO THE TOP OF ASPHALT.

ALL VERTICAL FACES OF COLD JOINTS SHALL BE SEALED WITH JOINT ADHESIVE PRIOR TO PAVEMENT OF ADJACENT AREAS.

AGGREGATES SHALL MEET THE REQUIREMENTS OF MNDOT SPECIFICATION SECTION 3138. COMPACTION SHALL BE VERIFIED BY PROOF ROLLING.

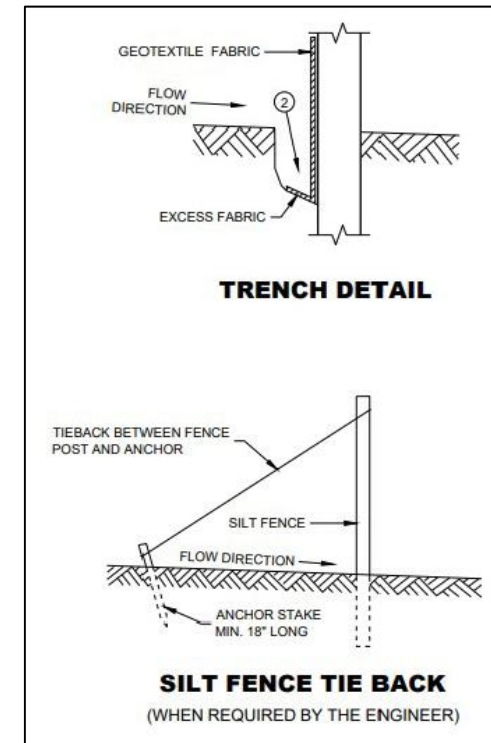


SILT FENCE DETAILS

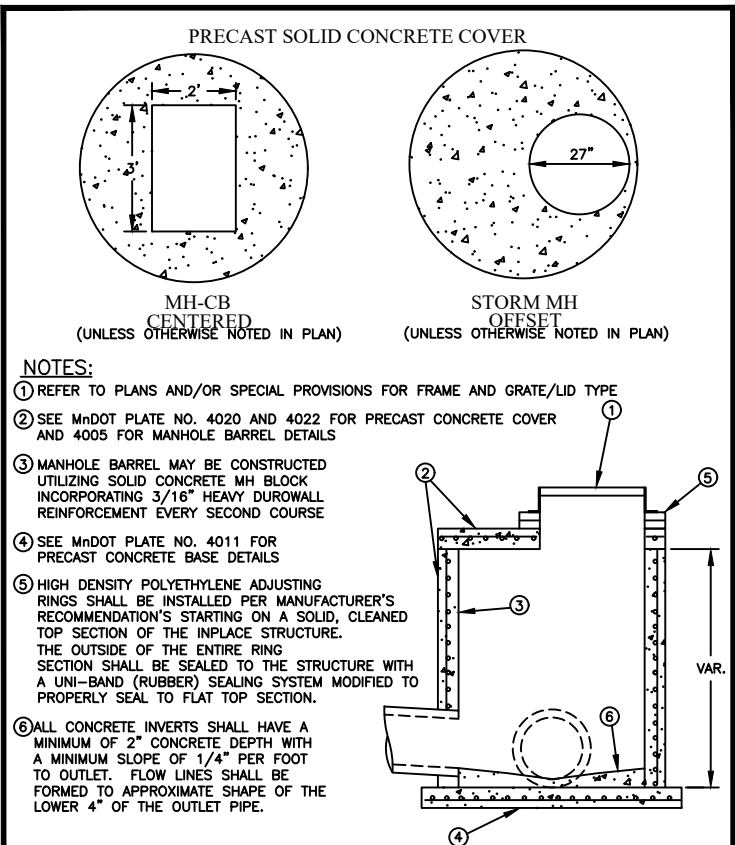
SILT FENCE GENERAL NOTES

DETAILS OF CONSTRUCTION NOT SHOWN ON THE DRAWING SHALL CONFORM TO THE PERINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

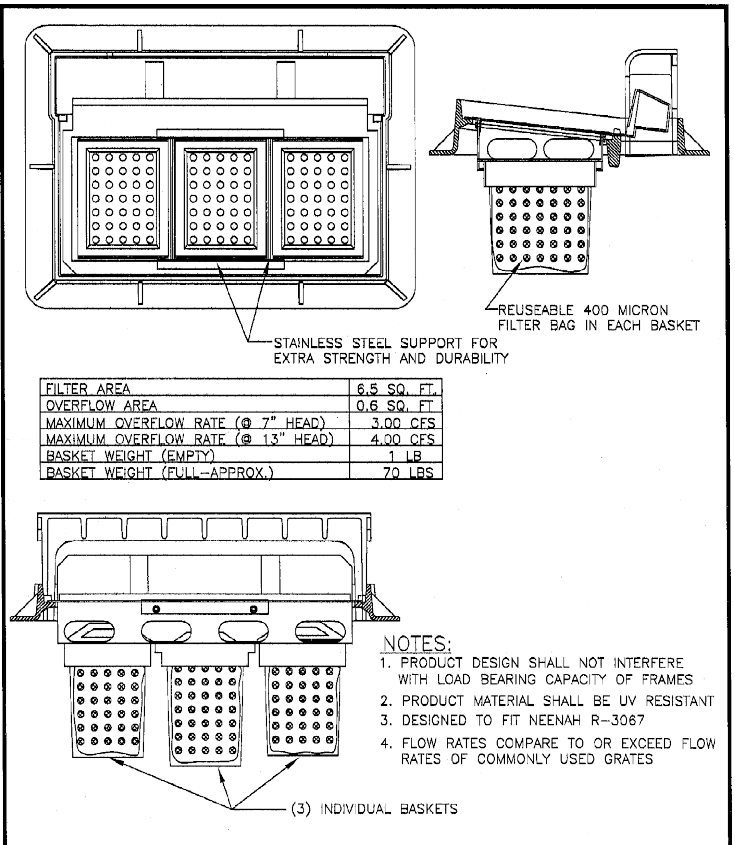
- ① HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- ② FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED MATERIAL.
- ③ WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 $\frac{1}{8}$ " X 1 $\frac{1}{8}$ " OF OAK OR HICKORY.



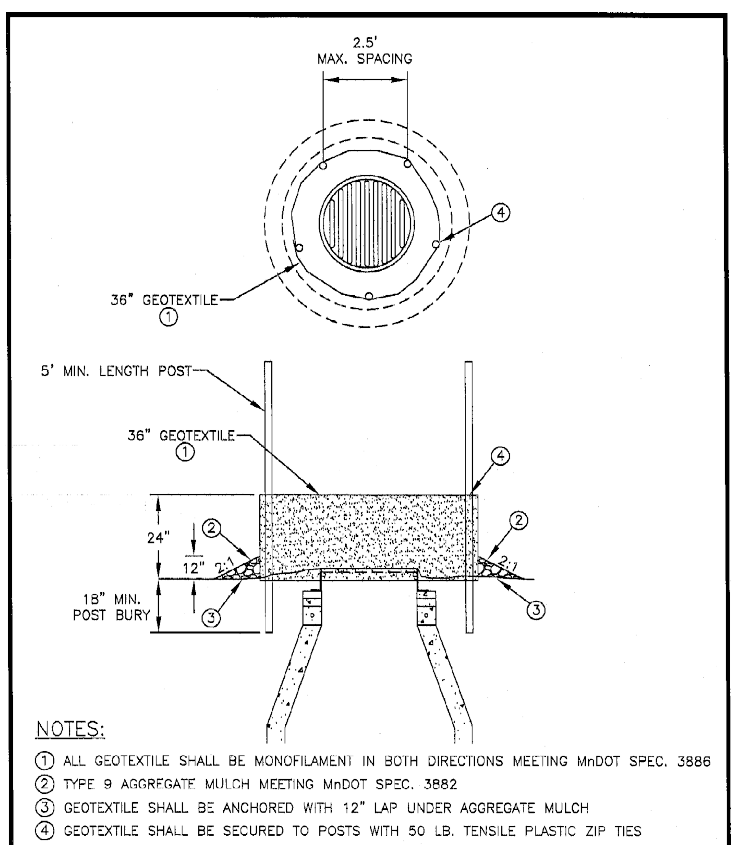
GRADING DETAILS AND NOTES SIEWERT REAL ESTATE, LLC 3424 N. SERVICE DRIVE RED WING, MN 55066 Client: SIEWERTS GARAGE Project ID: 2007-23-01	Drawing Status:	Drawn By: KJG----	Revision
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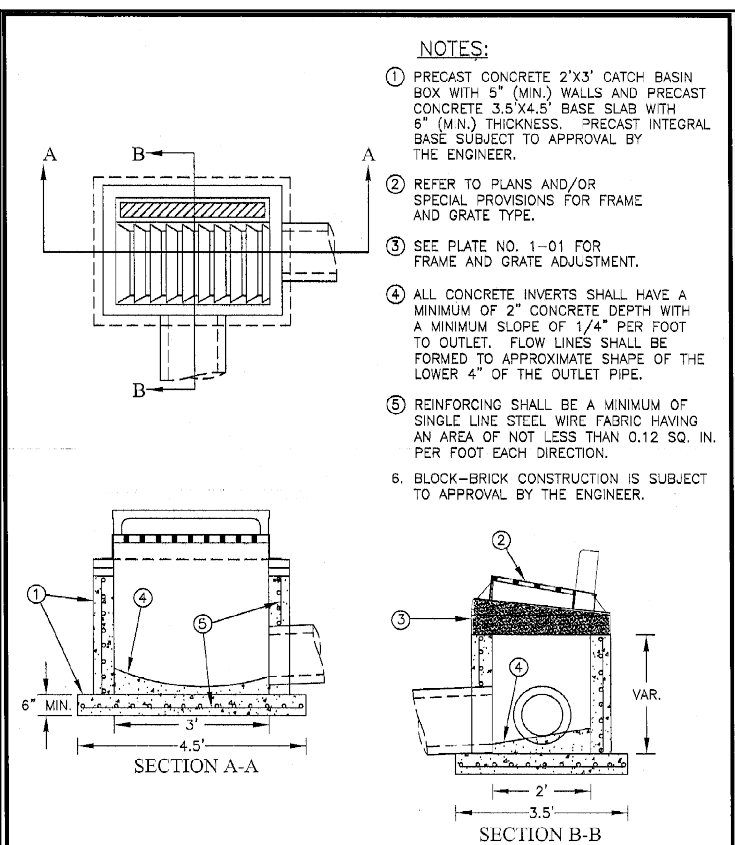
DATE REVISED	STORM MH/MH-CB	PLATE NO.
03/24/17		1-03



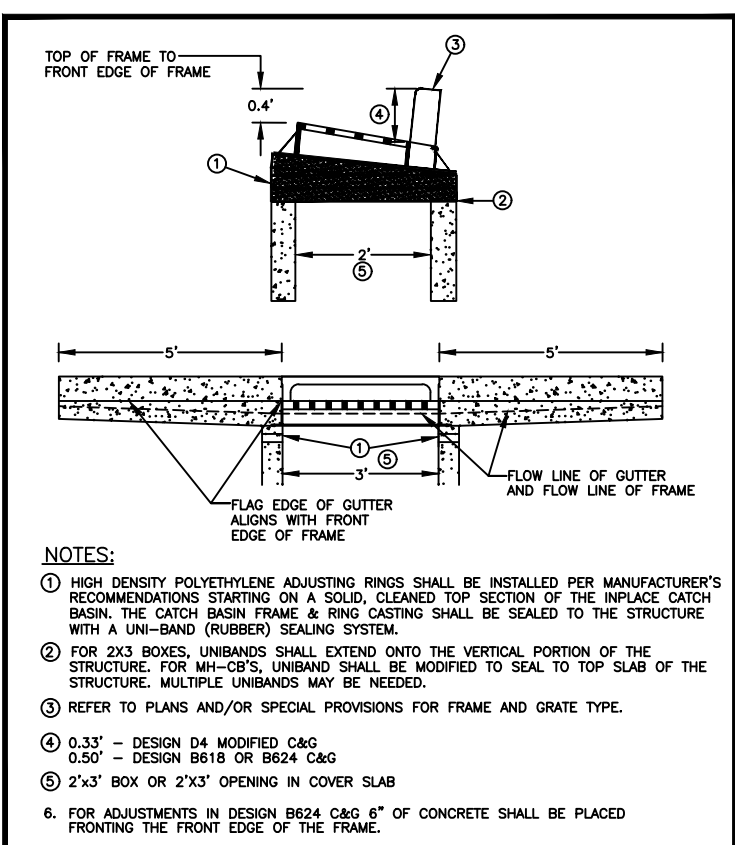
DATE REVISED	2X3 INLET PROTECTION DEVICE	PLATE NO.
03/01/08		4-01



DATE REVISED	INLET PROTECTION DEVICE	PLATE NO.
03/01/08		4-02



DATE REVISED	2'X3' STANDARD CB	PLATE NO.
03/01/08		1-02



DATE REVISED	2'x3' CB FRAME ADJUSTMENT	PLATE NO.
03/20/19		1-01

CITY OF RED WING STANDARD DETAILS	Drawing Status:	Revision
	Preliminary	
	Authority Approved	
	Final Design	
SIEWERT REAL ESTATE, LLC 3424 N. SERVICE DRIVE RED WING, MN 55066 Client: SIEWERTS GARAGE Project ID: 2007-23-01	Drawn By: KJG----	
	Checked By:	
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Siewert's Garage CUP

Spring Creek Avenue North

North Service Drive

Hwy 61

