



Our Vision

Red Wing thrives as a vibrant, creative river town that values its natural environment, welcomes all people, and unlocks opportunity for everyone.

Our Mission

We strive to create a sustainable, healthy, accessible, resilient, and equitable community where every person feels at home.

Meeting Announcement and Agenda Advisory Planning Commission Special Meeting City Council Chambers, 315 West 4th Street, Red Wing, MN & Virtually Tuesday, August 26, 2025, at 7:00 PM

This meeting will be held in the City Hall Council Chambers and virtually via Webex at the same time. Members of the public can join this meeting either in person at City Hall or virtually. To join this meeting via Webex, [click this link](#) and use the password 2025. To join via telephone, please dial (415) 655-0001. Enter access code 2555 912 9856 and password 2025 when prompted.

- 1. Call to Order**
- 2. Pledge of Allegiance**
- 3. Roll Call**
- 4. Approval of Agenda**
- 5. Motions & General Business**
 - 5.A. Public Hearing - Variance Request by the Red Wing Environmental Learning Center for a New Structure at 442 Guernsey Lane
- 6. Adjournment**

Accommodations for signing interpreter, Braille, large print, etc. can be made. Call City Hall at 385.3600 seven days prior to the need. Hearing assistance devices are available during meetings.



TO: Red Wing Advisory Planning Commission/Board of Adjustments Members

FROM: Steve Kohn, Planning Manager, August 19, 2025

Meeting Date: August 26, 2025

Agenda Item

Item 05.A. - Public Hearing: Variance Request by the Red Wing Environmental Learning Center to Construct a New Detached Accessory Buildings at 442 Guernsey Lane

Attachments

- Resolution No. 2025-4
- Public Hearing Notice
- Submittals
- Aerial Photos
- Current Photos of Property and Neighborhood
- Q Media Public Hearing Comment

Recommended Action

Motion to Adopt Resolution No. 2025-3 of the Red Wing Advisory Planning Commission/Board of Adjustments, Approving the Request as Submitted

Background

The Red Wing Environmental Learning Center (ELC), 442 Guernsey Lane, has submitted an application for a Variance to allow the construction of a new 1,536 square foot (32'x48') detached accessory building. The building is proposed to be used for a picnic shelter and to hold student program wrap-up meetings. A previous shelter (20'x30') used for the same purpose was recently removed due to its dilapidated state and safety concerns. The property is zoned Neighborhood Commercial (B-1); the B-1 Zoning District allows one (1) detached accessory building, which cannot exceed 720 square feet in size. The proposed building is also required to meet minimum exterior building material requirements per Division 45 of the Zoning Ordinance. The applicant is requesting a Variance to exceed the maximum square footage allowance and to be exempt from the exterior building material requirements.

The applicant is indicating practical difficulty in regard to the following:

Item 05.A.

- The larger covered space is essential to the ELC's programming and functional needs
- A former structure in the same location, and used for the same purpose, needed to be removed due to safety issues
- The proposed structure matches the existing 2017 principal structure in design, materials, and colors
- The property is adjacent to an I-1 zoned industrial district which mainly consists of large pole barn style buildings with sheet metal exteriors; the proposal is consistent with the neighborhood
- The cost to add brick and stone would be prohibitive

The ELC property consists of 2.43 acres and is located within the Highlands of Red Wing Planned Unit Development. The PUD was designed as a residential subdivision to the north and east on Goodhue Street, but also created/incorporated two B-1 lots adjacent to the development's entrance at the Guernsey Lane intersection. The ELC site was part of a former dairy farm and included a home and several outbuildings that were planned for demolition as part of the PUD; however, the development failed and the demolition never took place. The ELC obtained the property in 2013 and repurposed the home for their office.

The ELC is considered a "Community Services" use which is a permitted use in the B-1 Zoning District. The organization on the opposite corner of the intersection (Rise Up) is also a Community Services use.

In 2017, the ELC constructed a large new building (54'x80') on the southern half of the property. This building was considered a principal building at the time due to the organization's outdoor based education programs and the need to store equipment related to these activities. This building is a simple pole barn style structure with a steel exterior and a limited number of windows. The B-1 Zoning District is included in the City's exterior building design standards found in Division 45 of the Zoning Ordinance. The building permit issued in 2017 should have required exterior materials that meet the Division 45 requirements, including 75% brick or stone, and additional windows on the main façade, or a Variance should have been required.

The proposed new building is being classified as an accessory building. As mentioned above, the B-1 District allows up to one detached accessory building, but limits its size to 720 square feet; the proposed building is more than double the limit at 1,536 square feet. Division 45 of the Zoning Ordinance contains design standards for all new buildings, but also states that accessory structures shall be constructed of similar materials used on the principal building or materials that are compatible with the principal building in terms of color and texture. The proposed new accessory building would match the 2017 principal building in design, materials, and colors. The other principal structure on the property is a former home with wood siding; a portion of this structure is painted a color similar to a portion of the 2017 and proposed building.

Item 05.A.

The applicant is proposing a landscape plan for the area near the proposed accessory building. The landscape plan includes the addition of trees along Goodhue Street to help buffer and screen the new building from the roadway, which is approximately 60' away. Several existing trees exist in this area also and will be preserved. The proposed building setback exceeds 40' from the easterly property line; the minimum required setback is 20' for the B-1 District. In addition, the proposed building sits lower than Goodhue Street and the southern part of the property/Guernsey Lane; the building will mainly be seen from Goodhue Street (North).

The shelter that was removed due to safety concerns was 20'x30' and was not fully enclosed. The new accessory building will be fully enclosed and includes four large garage doors that can be opened to create an indoor/outdoor protected space. Enclosing the building will allow the applicant to extend the use of the structure and area seasonally. An enclosed structure is also more desirable for security purposes. A concrete patio area to the west of the shelter was also removed due to safety concerns and will be replaced. A new landscaping/patio plan is attached and shows the planned concept for the patio area and shows additional trees to the east of the proposed building.

As mentioned earlier, the proposed building size is more than double the size of the former shelter. The additional square footage is being requested in order to provide additional amenities inside the building, allow more tables/seating, and to allow the storage of additional tables, chairs, and other patio equipment over the winter and when not in use.

The Planning Commission will be acting as the Board of Adjustments for this Variance request and will make the final decision on whether it should be approved or denied.

Analysis

Staff from Community Development, Fire, Engineering, Police, and Public Works reviewed the proposal and had no concerns. The property and the proposed use are unique due to the circumstances listed above.

The applicant's desire to continue to provide the use of this space for students, staff, and the general public in a safe and comfortable setting is understandable. The proposed building is replacing a former dilapidated open-air structure used for the same main purpose, while adding more space for storage, extended seasonal use, and security. The property is large and spread out and the proposed building is in character with the property and surrounding area.

The B-1 property is located adjacent to an industrial area (Zoned I-1) that mainly consists of sheet metal pole-barn style buildings. The proposed building is consistent with the style and materials of the vast majority of buildings in the area. It should be noted that the proposed ELC building is designed to match the largest principal building on the site, which was constructed in 2017. Per Division

Item 05.A.

45 of the Red Wing Zoning Ordinance, the 2017 building should have been built with an upgraded exterior material(s). It was not. It should also be noted that the Rise Up property across the street is also zoned B-1 and the primary structure on the site, built in 2013, is also a steel building that does not meet Division 45 exterior material standards. Staff does not recall why these buildings were not required to meet Division 45 standards.

The design standards situation is unique due to the fact that the proposed building is a direct match in design to the 2017 principal structure; technically, it complies with Division 45 which requires that accessory buildings need to match the exterior materials of the principal structure(s) on the property. The issue is that the 2017 building does not meet principal building standards, but was allowed a building permit to be constructed. Staff is recommending that the Variance request acknowledge that the proposed building does not need to address exterior building material standards since it matches the materials and design of the 2017 building.

The Comprehensive Plan does not directly address the applicant's situation, but it does appear that the proposal would maintain the existing character of the property and neighborhood and can be considered an investment in the property, which is supported by the Comprehensive Plan.

A public hearing comment has been received from Al Quarnstrom, Q-Media Group, 474 Guernsey Lane; the comment indicates that Q-Media has no concerns with the proposed building at the ELC site. See attached.

The Board of Adjustments must consider and make each of the following findings of fact when reviewing and approving a variance request. Staff recommended findings are in **bold**.

- 1) Because of the particular physical surroundings, or the shape, configuration, topography or other conditions of the specific parcel of land involved, strict adherence to the regulations of this Zoning Ordinance would cause practical difficulties. Economic considerations alone do not constitute practical difficulties. **The applicant's property totals approximately 2.43 acres and is over 500' deep. The proposed 1,536 square foot detached accessory buildings would be located approximately 175' behind the largest principal building on the site in a location that is screened from public view and other adjacent property, with the exception of Goodhue Street (North). The proposed detached accessory building is a match to the largest principal building in design, material, and color. Strict adherence to the regulations would cause practical difficulties for the applicant.**
- 2) The conditions upon which a petition for variance is based are unique to the parcel of land for which the variance is sought and are not applicable, generally, to other property within the same zoning classification. **The applicant's property totals approximately 2.43 acres and is over 500'**

Item 05.A.

deep; this is not typical of the intent of B-1 zoned property. The property is located on the edge of an I-1 zoned industrial park that consists of large pole-barn style steel buildings; the proposed building is compatible with the design and character of other buildings in the area. The large property size, large existing and proposed setbacks, and existing and proposed screening are all unique features. The conditions for which the Variance application is based are unique to the applicant's parcel and situation and are not generally applicable to other property in the B-1 District.

- 3) The alleged practical difficulty is caused by the Zoning Ordinance and has not been created by any persons presently having an interest in the parcel of land. **The unique characteristics listed above are not typical of B-1 zoned properties. The proposed accessory building design and square footage are appropriate for the site and area. The Zoning Ordinance has created the alleged practical difficulty. The applicant has not created the practical difficulty.**
- 4) The granting of the variance will not alter the essential character of the locality or be injurious to other property in the vicinity in which the parcel of land is located or substantially diminish property values. **The proposal will not impact the character of the area or be injurious to other property in the vicinity based on aesthetics, setback, and safety. There is no evidence that the proposal will diminish property values.**
- 5) The proposed variance will not substantially increase the congestion of the public streets, or increase the danger of fire, or be detrimental to the public welfare or endanger the public safety. **The proposed project will not impact public welfare or public safety.**
- 6) It has been demonstrated that the granting of the Variance will be in keeping with the spirit and intent of the Zoning Ordinance and is consistent with the Comprehensive Plan. **The proposal meets the intent of the Zoning Ordinance. The granting of the proposed Variance is consistent with the Comprehensive Plan.**

Staff Recommendation

Based on the analysis and findings above, staff recommends a motion to adopt Resolution No. 2025-4, approving the Variance request, as submitted.

**RESOLUTION NO. 2025-4 of the RED WING ADVISORY
PLANNING COMMISSION/BOARD OF ADJUSTMENTS**

***A Resolution Approving a Variance to Construct a New Detached Accessory
Building at 442 Guernsey Lane***

WHEREAS, the City of Red Wing is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, The Red Wing Environmental Learning Center, 442 Guernsey Lane, hereinafter referred to as (“Applicant”), has submitted an application for a Variance to allow the construction of a new 1,536 square foot (32’x48’) detached accessory building that exceeds the maximum square footage allowed on the property for an accessory building per Division 30-010 of the Red Wing Zoning Ordinance and which will not meet the exterior material requirements of Division 45 of the Red Wing Zoning Ordinance; and

WHEREAS, the Applicant submitted said zoning application on August 12, 2025, to the Community Development Department which reviewed and determined the application to be complete on August 12, 2025; and

WHEREAS, notice has been published, mailed and posted pursuant to the Red Wing Zoning Ordinance, Section 85-020; and

WHEREAS, the property is zoned Neighborhood Business (B-1) and is also located within the Highlands of Red Wing Planned Unit Development; and

WHEREAS, Division 30-010 allows one (1) accessory building on the property with a 720 square foot maximum footprint and the applicant is proposing a 1,536 square foot footprint; and

WHEREAS, Division 45 requires commercial design standards for buildings in the B-1 Zoning District, including exterior building material requirements and window requirements and the Applicant is proposing a pole-barn style building with a steel exterior and limited windows; and

WHEREAS, Division 80-030 and Division 80-040 of the Red Wing Zoning Ordinance establishes the Red Wing Advisory Planning Commission as the Board of Adjustments for reviewing and deciding Variance applications; and

WHEREAS, the Red Wing Advisory Planning Commission conducted a public hearing on said matter on August 26, 2025; and

WHEREAS, the Red Wing Advisory Planning Commission reviewed a report and recommendation by Planning Manager, Steve Kohn, dated August 20, 2025, and considered said matter at its August 26, 2025, meeting.

NOW THEREFORE BE IT RESOLVED, that based on the testimony elicited and information received, the Advisory Planning Commission makes the following:

FINDINGS

1. That the procedure for obtaining said Variance is in the Red Wing Zoning Ordinance, Section 90-110.
2. That all the requirements of said Section 90-110 have been met by the Applicant.
3. That the proposed Variance request involves the construction of a new detached accessory building that is 32' wide by 48' long and totals 1,536 square feet in size. The proposed accessory building is a pole-barn style building with exterior steel siding. The proposed building is a design, color, and material match to an existing principal building constructed in 2017 on the property. The 2017 principal structure was issued a building permit without meeting exterior design standards found in Division 45 of the Red Wing Zoning Ordinance.
4. That the proposed Variance will be located on property legally described as Lot 1, Block 1, HIGHLANDS OF RED WING REPLAT, City of Red Wing, Goodhue County, Minnesota. More commonly known as 442 Guernsey Lane.
5. The applicant's property totals approximately 2.43 acres and is over 500' deep. The proposed 1,536 square foot detached accessory buildings would be located approximately 175' behind the largest principal building on the site in a location that is screened from public view and other adjacent property, with the exception of Goodhue Street (North). The proposed detached accessory building is a match to the largest principal building in design, material, and color. Strict adherence to the regulations would cause practical difficulties for the applicant.
6. The applicant's property totals approximately 2.43 acres and is over 500' deep; this is not typical of the intent of B-1 zoned property. The property is located on the edge of an I-1 zoned industrial park that consists of large pole-barn style steel buildings; the proposed building is compatible with the design and character of other buildings in the area. The large property size, large existing and proposed setbacks, and existing and

proposed screening are all unique features. The conditions for which the Variance application is based are unique to the applicant's parcel and situation and are not generally applicable to other property in the B-1 District.

- 7. The unique characteristics listed above are not typical of B-1 zoned properties. The proposed accessory building design and square footage are appropriate for the site and area. The Zoning Ordinance has created the alleged practical difficulty. The applicant has not created the practical difficulty.
- 8. The proposal will not impact the character of the area or be injurious to other property in the vicinity based on aesthetics, setback, and safety. There is no evidence that the proposal will diminish property values.
- 9. The proposed project will not impact public welfare or public safety.
- 10. The proposal meets the intent of the Zoning Ordinance. The granting of the proposed Variance is consistent with the Comprehensive Plan.

NOW, THEREFORE BE IT RESOLVED, that based on the testimony elicited and information received, the Advisory Planning Commission of the City of Red Wing hereby approves the request by the applicant for a Variance, as submitted.

Adopted this ____ day of _____ 2025, by the Advisory Planning Commission of the City of Red Wing.

Brad Wronski, Chairperson

ATTEST:

Steve Kohn, Planning Manager



PUBLIC HEARING NOTICE

Notice is hereby given that the City of Red Wing Advisory Planning Commission/Board of Adjustments will hold a public hearing in the City Council Chambers at City Hall on Tuesday, August 26, 2025, at 7:00 p.m., to hear and take action on a Variance request by the Red Wing Environmental Learning Center (ELC), 442 Guernsey Lane, to allow the construction of a new 1,536 square foot detached accessory steel building on the site. The property is located within the (B-1) Neighborhood Business District. The B-1 Zoning District allows one (1) detached accessory building, which cannot exceed 720 square feet in size. The proposed building is also required to meet minimum exterior building material requirements per Division 45 of the Zoning Ordinance. The applicant is requesting a Variance to exceed the maximum square footage allowance and to be exempt from the exterior building material requirements.

The proposed building will match the design of an existing larger primary building on the property and the applicant is proposing a landscaping plan with trees to help screen the new building. The proposed building will replace a smaller detached accessory building that was recently demolished due to structural and safety concerns.

Parcel Number: 55-242-0010. The legal description of this property is as follows: Lot 1, Block 1, HIGHLANDS OF RED WING REPLAT, City of Red Wing, Goodhue County, Minnesota. More commonly known as 442 Guernsey Lane.

Written or oral comments to said Variance may be presented at this public hearing or filed with the City Clerk prior to this hearing. Each response will be duly considered and evaluated before any formal action is taken by the Planning Commission/Board of Adjustments. This meeting will also be held virtually. If you wish to share a public comment regarding the proposal, you may send an email with your comments by 3:00 p.m. on Tuesday, August 26, 2025, to steve.kohn@redwingmn.gov or by calling 651-385-3622 to leave your contact information and a voicemail with your comments. You may also request a link to join the meeting via Webex. For Variance requests, the Planning Commission serves as the Board of Adjustments. All findings and decisions of the Board of Adjustments concerning variances shall be final; the proposal will not be reviewed by the City Council.

Melissa Hill
City Clerk
City of Red Wing, Minnesota

Date: **August 13, 2025**

Publish once in the Republican Eagle: **August 16, 2025**

NOTE: The City of Red Wing Zoning Ordinance requires that this notice be mailed to each of the owners of all property located within 500 feet of the property described above.

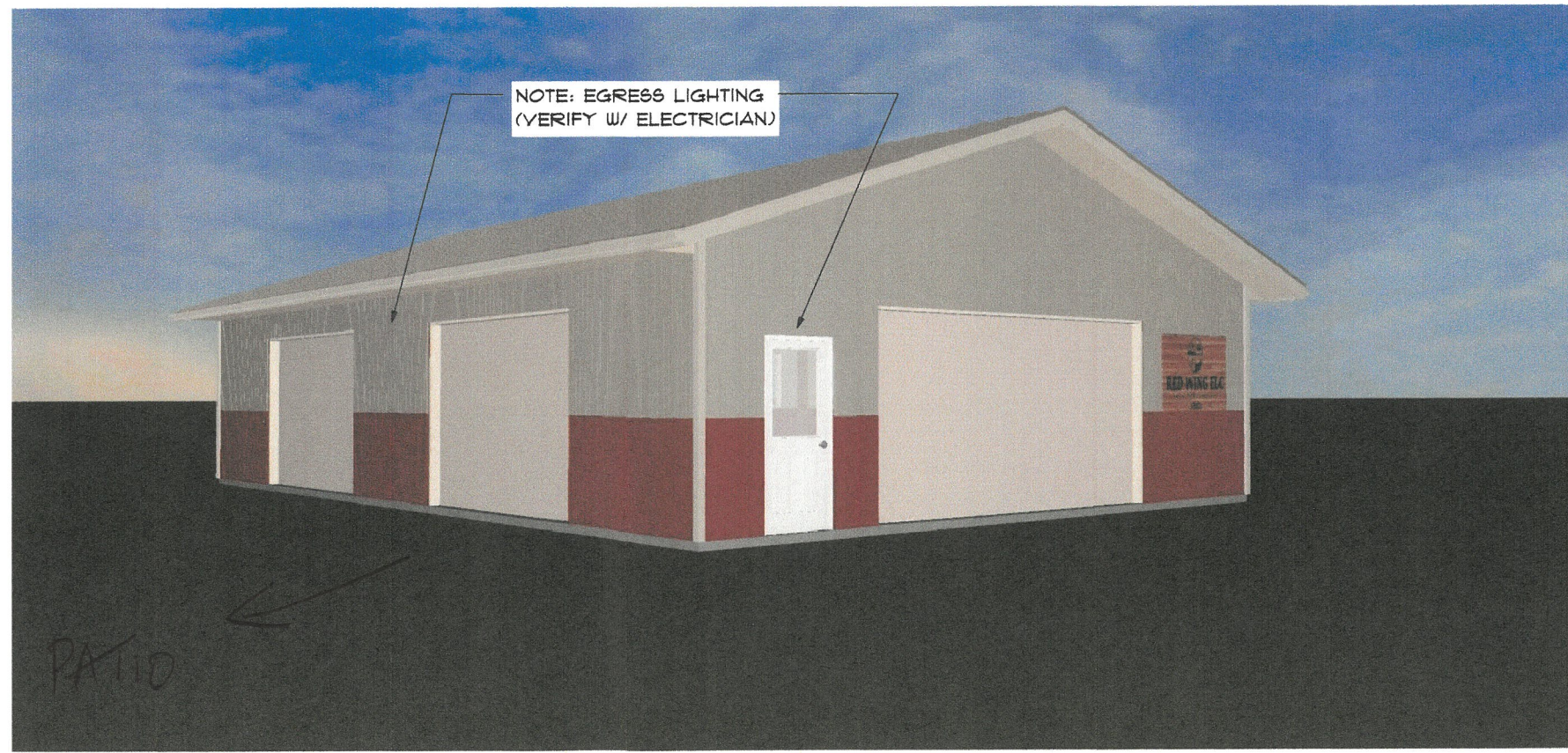


NORTHEAST VIEW

VERIFY ALL EXTERIOR SELECTIONS WITH CONTRACTOR & HOMEOWNER

PLEASE NOTE: 3D RENDERINGS ARE INTENDED FOR VISUALIZATION ONLY AND MAY NOT SHOW ALL FEATURES SUCH AS GRADING, SIDING, ETC.

SLOPING GRADES & TERRAIN ARE FIELD DETERMINED BY CONTRACTOR AND/OR EXCAVATOR AND ARE NOT SHOWN ON THE 3D MODEL & IMAGES



SOUTHWEST VIEW


 Keith Friesen Drafting LLC
 651-301-3353
 keithfriesen22@gmail.com

KEITH FRIESEN DRAFTING, LLC. OWNS ALL RIGHTS, INCLUDING, BUT NOT LIMITED TO, COPYRIGHTS OF THE BLUEPRINTS OR FLOOR PLANS CREATED UNDER THIS AGREEMENT. KEITH FRIESEN DRAFTING, LLC. LICENSES THE BLUEPRINT OR FLOOR PLAN TO THE CUSTOMER FOR PURPOSES OF CONSTRUCTING THE STRUCTURE DEPICTED IN THE BLUEPRINT OR FLOOR PLAN. THE CUSTOMER SHALL NOT DUPLICATE, DISTRIBUTE TO THE PUBLIC, OR DISPLAY THIS BLUEPRINT OR FLOOR PLAN. THIS BLUEPRINT OR FLOOR PLAN IS NOT A WORK MADE FOR HIRE AS DEFINED UNDER 11 U.S.C. SECTION § 101.

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, CONTRACTOR/HOMEOWNER MUST VERIFY GRADES, FOOTING SIZES, ELEVATIONS, ROUGH OPENINGS, HEADER AND BEAM SIZES AND ALL OTHER DIMENSIONS AND SPECS AND BE RESPONSIBLE FOR THE SAME.

THESE PLANS WERE DRAFTED & DESIGNED FOR:
ENVIRONMENTAL LEARNING CENTER
 442 GUERNSEY LANE - RED WING, MN 55066 - U.S.A.

DESIGN PHASE	
PRELIMINARY PLAN#1	6/12/2025
PRELIMINARY PLAN#2	1/1/2025
CHECK SET PLAN	8/4/2025
FINAL PLAN ISSUED	8/6/2025
REVISION 1	
REVISION 2	
SCALE	AS NOTED
DRAWN BY	K. FRIESEN
SHEET NUMBER	COVER

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, CONTRACTOR/HOMEOWNER MUST VERIFY GRADES, FOOTING SIZES, ELEVATIONS, ROUGH OPENINGS, HEADER AND BEAM SIZES AND ALL OTHER DIMENSIONS AND SPECS AND BE RESPONSIBLE FOR THE SAME.

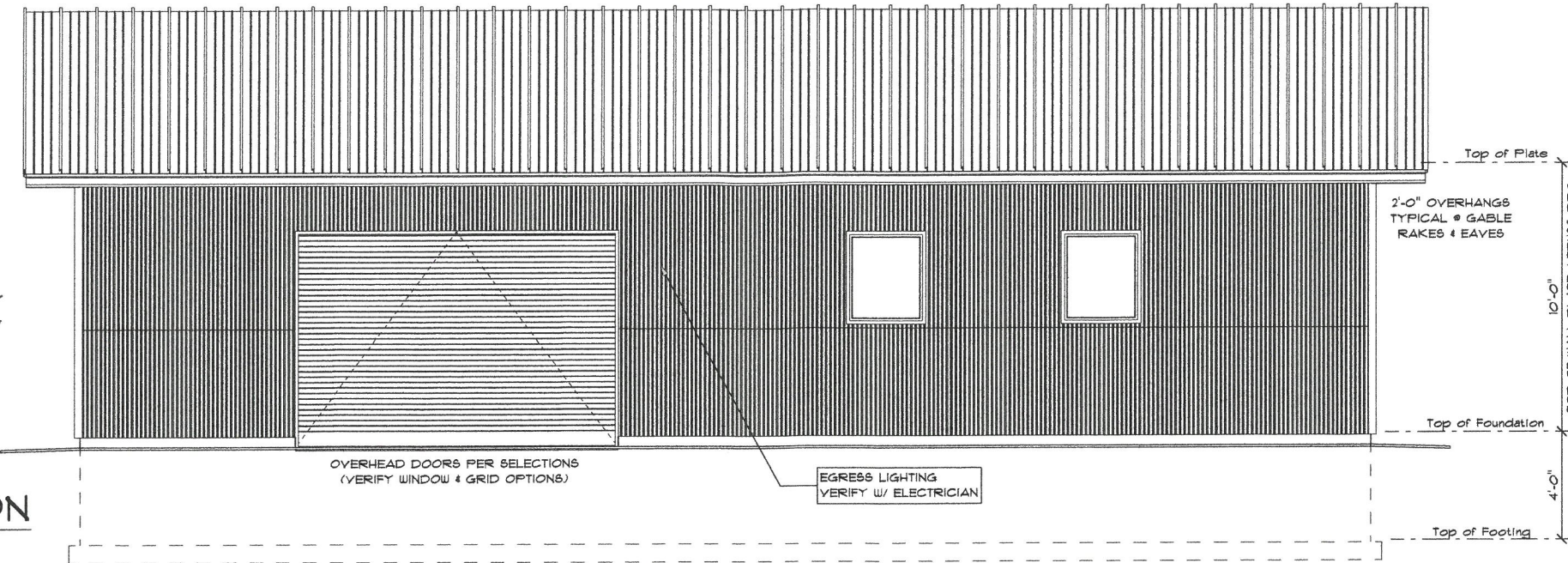
THESE PLANS WERE DRAFTED & DESIGNED FOR:
ENVIRONMENTAL LEARNING CENTER
 442 GUERNSEY LANE - RED WING, MN 55066 - U.S.A.

DESIGN PHASE	
PRELIMINARY PLAN#1	6/12/2025
PRELIMINARY PLAN#2	1/1/2025
CHECK SET PLAN	8/4/2025
FINAL PLAN ISSUED	8/6/2025
REVISION 1	
REVISION 2	
SCALE AS NOTED	
DRAWN BY K. FRIESEN	
SHEET NUMBER A1	

KEITH FRIESEN DRAFTING, LLC. OWNS ALL RIGHTS, INCLUDING, BUT NOT LIMITED TO, COPYRIGHTS OF THE BLUEPRINTS OR FLOOR PLANS CREATED UNDER THIS AGREEMENT. KEITH FRIESEN DRAFTING, LLC. LICENSES THE BLUEPRINT OR FLOOR PLAN TO THE CUSTOMER FOR PURPOSES OF CONSTRUCTING THE STRUCTURE DEPICTED IN THE BLUEPRINT OR FLOOR PLAN. THE CUSTOMER SHALL NOT DUPLICATE, DISTRIBUTE TO THE PUBLIC, OR DISPLAY THIS BLUEPRINT OR FLOOR PLAN IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF KEITH FRIESEN DRAFTING, LLC. THIS BLUEPRINT OR FLOOR PLAN IS NOT A WORK MADE FOR HIRE AS DEFINED UNDER 11 U.S.C. SECTION 5101.

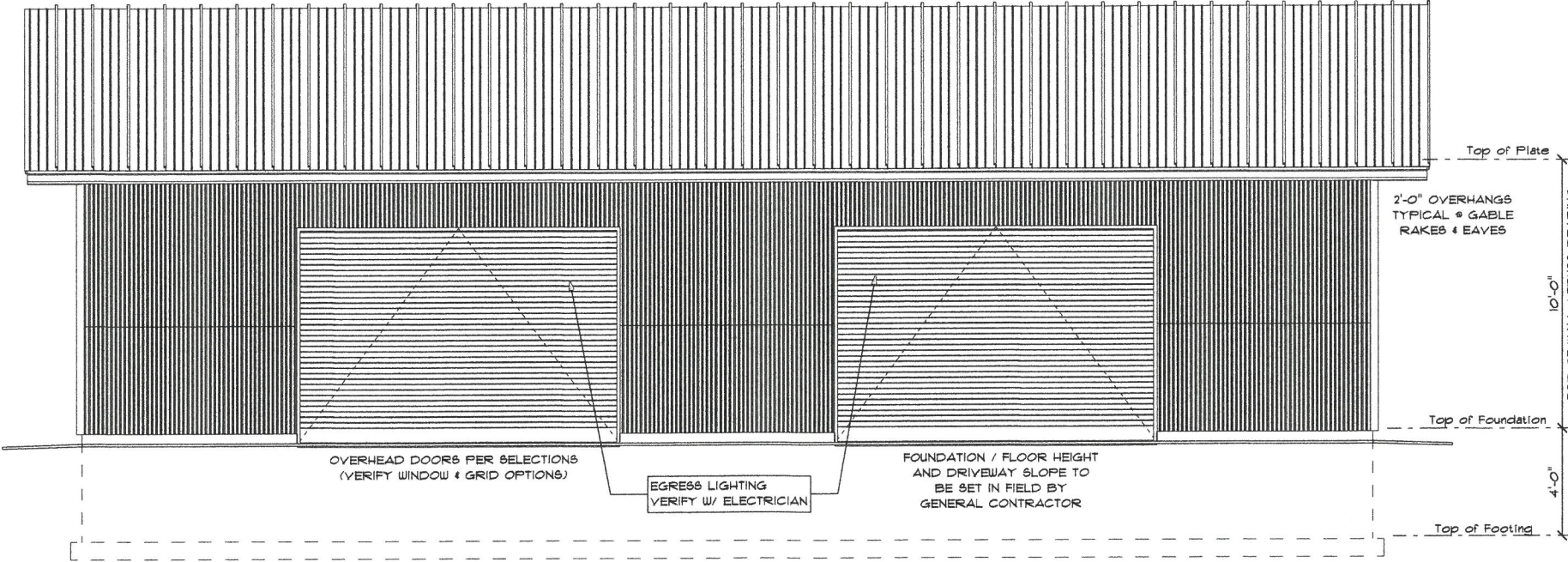
*FACES
GOODHUE ST.*

A1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



*FACES
RATIO*

A1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

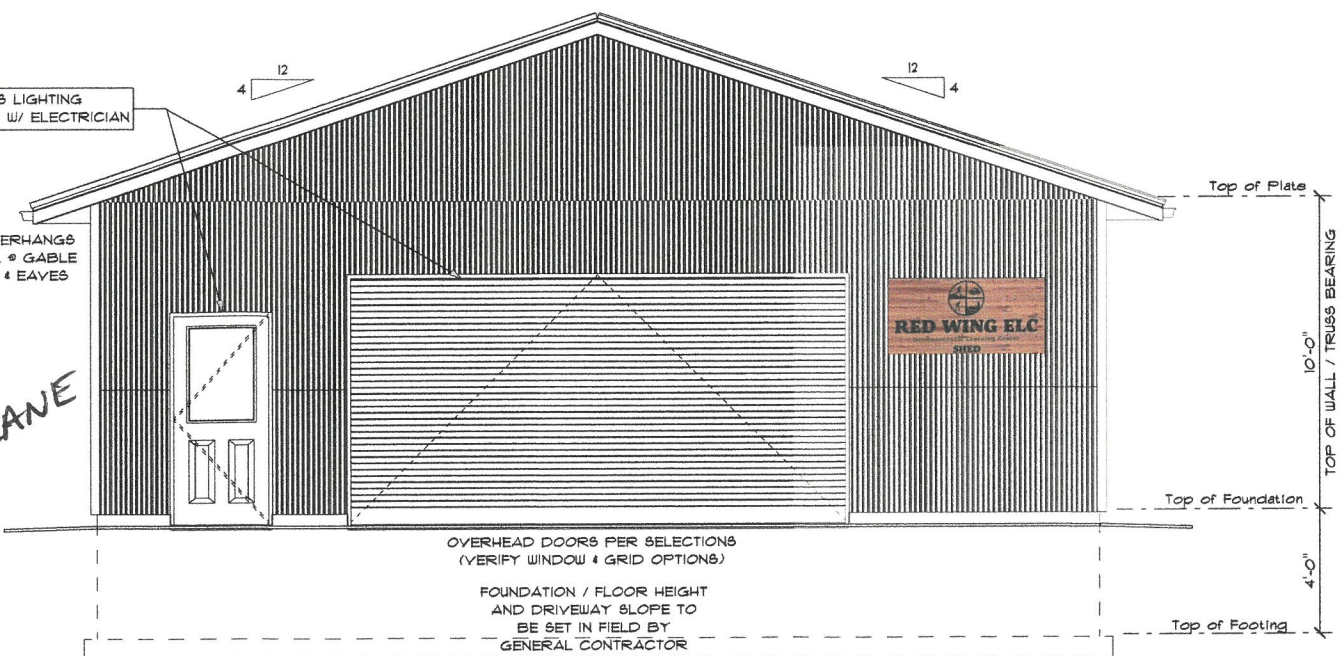


VERIFY ALL EXTERIOR SELECTIONS WITH CONTRACTOR & HOMEOWNER

OPPOSITE END (NORTH - SIMILAR)

*FACES
GUERNSEY LANE*

A1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



FLASHING:
 ALL WINDOW & DOOR OPENINGS TO HAVE FLASHING INSTALLED PER MFGR SPEC'S. FLASHING ALSO REQ'D AT ALL PROJECTIONS KICK OUT W/OOR STEP FLASHINGS TO BE INSTALLED ALONG ADJACENT/ PROTRUDING SURFACES TO THE ROOF

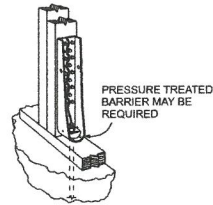
TOP OF FOUNDATION:
 FOUNDATION TO EXTEND MIN. 6" ABOVE GRADE - CAN BE REDUCED TO 4" WHEN MASONRY VENEER IS USED

SILL PLATES WITHIN 8" FROM GRADE ARE REQ'D TO BE CONSTRUCTED W/DECAY RESISTANT OR PRESSURE TRTD MATERIAL

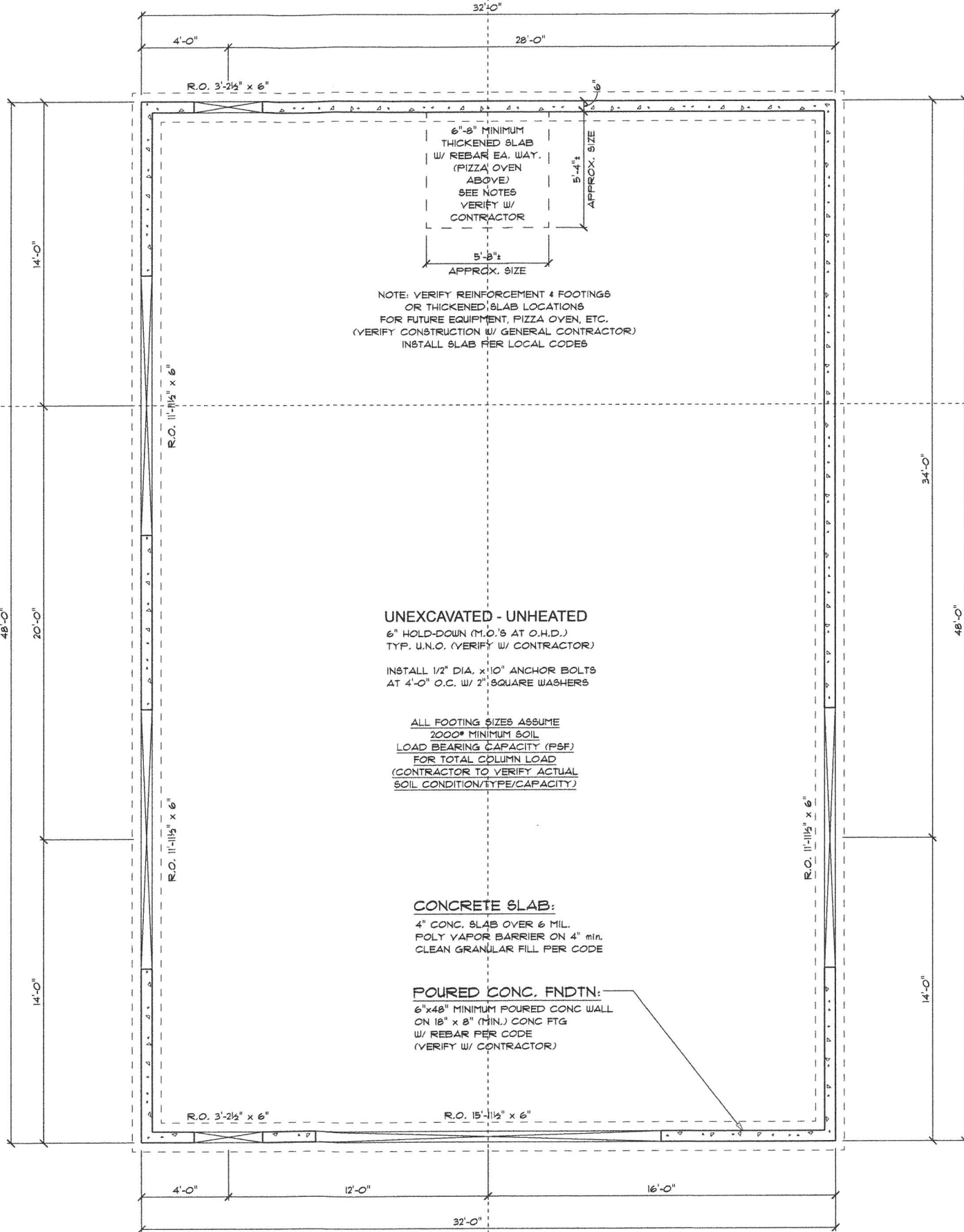
SURFACE DRAINAGE:
 SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER OR AN APPROVED COLLECTION POINT. PROPERTY MUST BE GRADED AWAY FROM FOUNDATION WALLS W/MIN. GRADE FALL OF 6" DROP WITHIN THE FIRST 10'-0" FROM THE HOUSE

**CONTRACTOR RESPONSIBILITY-
SOLID BEARING LOCATIONS:**
ALL SOLID BEARING COLUMN LOCATIONS TO FALL DIRECTLY UNDERNEATH WINDOW HEADERS &/OR GIRDER END REACTIONS. SUCH POINT LOADS TO BE CARRIED DOWN TO A FOUNDATION WALL OR CONC PAD FOOTING DESIGNED FOR SUCH LOAD. CONTRACTOR(S) IS RESPONSIBLE TO VERIFY &/OR COORDINATE SOLID BEARING COLUMN LOCATIONS w/FINALIZED ROOF &/OR FLOOR TRUSS LAYOUT DESIGN DRAWINGS THAT ARE SUPPLIED BY TRUSS DESIGNER(S).

NOTE: HOLD DOWNS ARE REQUIRED AT OVERHEAD DOOR OPENINGS (CONTRACTOR TO DETERMINE WHICH MODEL/METHOD & COORDINATE W/ FOUNDATION INSTALLER FOR ANCHORS)



Simpson Strong-Tie HDU



A2 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

KEITH FRIESEN DRAFTING
Humbly Serving Wisconsin & Minnesota
KEITH FRIESEN DRAFTING LLC
651-301-3353
keithfriesen22@gmail.com

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, CONTRACTOR/HOMEOWNER MUST VERIFY GRADES, FOOTING SIZES, ELEVATIONS, ROUGH OPENINGS, HEADER AND BEAM SIZES AND ALL OTHER DIMENSIONS AND SPECS AND BE RESPONSIBLE FOR THE SAME.

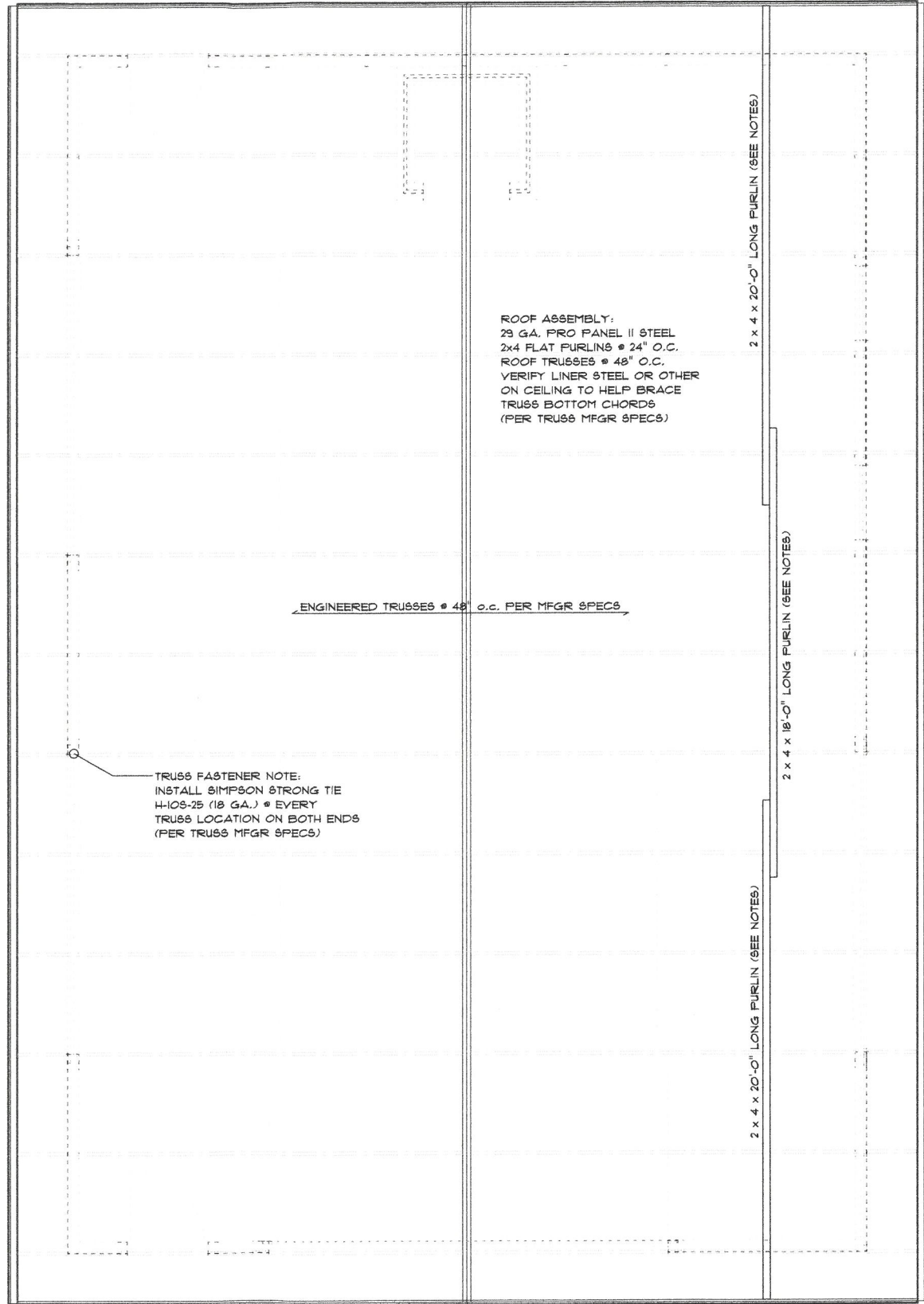
THESE PLANS WERE DRAFTED & DESIGNED FOR:
ENVIRONMENTAL LEARNING CENTER
442 GUERNSEY LANE - RED WING, MN 55066 - U.S.A.

KEITH FRIESEN DRAFTING, LLC. OWNS ALL RIGHTS, INCLUDING, BUT NOT LIMITED TO, COPYRIGHTS OF THE BLUEPRINTS OR FLOOR PLANS CREATED UNDER THIS AGREEMENT. KEITH FRIESEN DRAFTING, LLC. LICENSES THE BLUEPRINT OR FLOOR PLAN TO THE CUSTOMER FOR PURPOSES OF CONSTRUCTING THE STRUCTURE DEPICTED IN THE BLUEPRINT OR FLOOR PLAN. THE CUSTOMER SHALL NOT DUPLICATE, DISTRIBUTE TO THE PUBLIC, OR DISPLAY THIS BLUEPRINT OR FLOOR PLAN IN ANY WORK MADE FOR HIRE AS DEFINED UNDER 11 U.S.C. SECTION 5101.

DESIGN PHASE	
PRELIMINARY PLAN#1	6/12/2025
PRELIMINARY PLAN#2	7/7/2025
CHECK SET PLAN	8/4/2025
FINAL PLAN ISSUED	8/6/2025
REVISION 1	
REVISION 2	
SCALE	AS NOTED
DRAWN BY	K. FRIESEN
SHEET NUMBER	A2

DIAGRAMMATIC ROOF PLAN NOTE:
THIS IS A PROPOSED ROOF PLAN.
SEE ENGINEERED TRUSS LAYOUTS
FOR MORE INFORMATION & VERIFY
DIMENSIONS WITH PLAN, SECT, ELEV.

NOTE: ALL GIRDER LOCATIONS
AND END REACTIONS MUST BE
VERIFIED BY THE GENERAL CONTRACTOR
WITH THE MANUFACTURER'S FINAL TRUSS
ENGINEERED LAYOUTS



ROOF ASSEMBLY:
29 GA. PRO PANEL II STEEL
2x4 FLAT PURLINS @ 24" O.C.
ROOF TRUSSES @ 48" O.C.
VERIFY LINER STEEL OR OTHER
ON CEILING TO HELP BRACE
TRUSS BOTTOM CHORDS
(PER TRUSS MFGR SPECS)

TRUSS FASTENER NOTE:
INSTALL SIMPSON STRONG TIE
H-109-25 (18 GA.) @ EVERY
TRUSS LOCATION ON BOTH ENDS
(PER TRUSS MFGR SPECS)

A4 ROOF PLAN
SCALE: 1/4" = 1'-0"



Humbly Serving Wisconsin & Minnesota
KEITH FRIESEN DRAFTING LLC
651-307-3353
keithfriesen22@gmail.com

ALTHOUGH EVERY EFFORT HAS
BEEN MADE IN PREPARING
THESE PLANS AND CHECKING
THEM FOR ACCURACY,
CONTRACTOR/HOMEOWNER
MUST VERIFY GRADES, FOOTING
SIZES, ELEVATIONS, ROUGH
OPENINGS, HEADER AND BEAM
SIZES AND ALL OTHER DIMENSIONS
AND SPECS AND BE RESPONSIBLE
FOR THE SAME.

THESE PLANS WERE DRAFTED & DESIGNED FOR:
ENVIRONMENTAL LEARNING CENTER
442 GUERNSEY LANE - RED WING, MN 55066 - U.S.A.

KEITH FRIESEN DRAFTING, LLC. OWNS ALL RIGHTS, INCLUDING, BUT NOT LIMITED TO, COPYRIGHTS OF THE BLUEPRINTS OR FLOOR PLANS CREATED UNDER THIS AGREEMENT. KEITH FRIESEN DRAFTING, LLC. LICENSES THE BLUEPRINT OR FLOOR PLAN TO THE CUSTOMER FOR PURPOSES OF CONSTRUCTING THE STRUCTURE DEPICTED IN THE BLUEPRINT OR FLOOR PLAN. THE CUSTOMER SHALL NOT DUPLICATE, DISTRIBUTE TO THE PUBLIC, OR DISPLAY THIS BLUEPRINT OR FLOOR PLAN. THIS BLUEPRINT OR FLOOR PLAN IS NOT A WORK MADE FOR HIRE AS DEFINED UNDER T.U.S.C. SECTION 5.01.

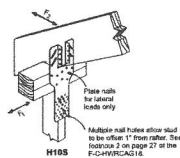
DESIGN PHASE	
PRELIMINARY PLAN#1	6/12/2025
PRELIMINARY PLAN#2	7/7/2025
CHECK SET PLAN	8/4/2025
FINAL PLAN ISSUED	8/6/2025
REVISION 1	
REVISION 2	
SCALE	AS NOTED
DRAWN BY	K. FRIESEN
SHEET NUMBER	A4

GENERAL NOTES

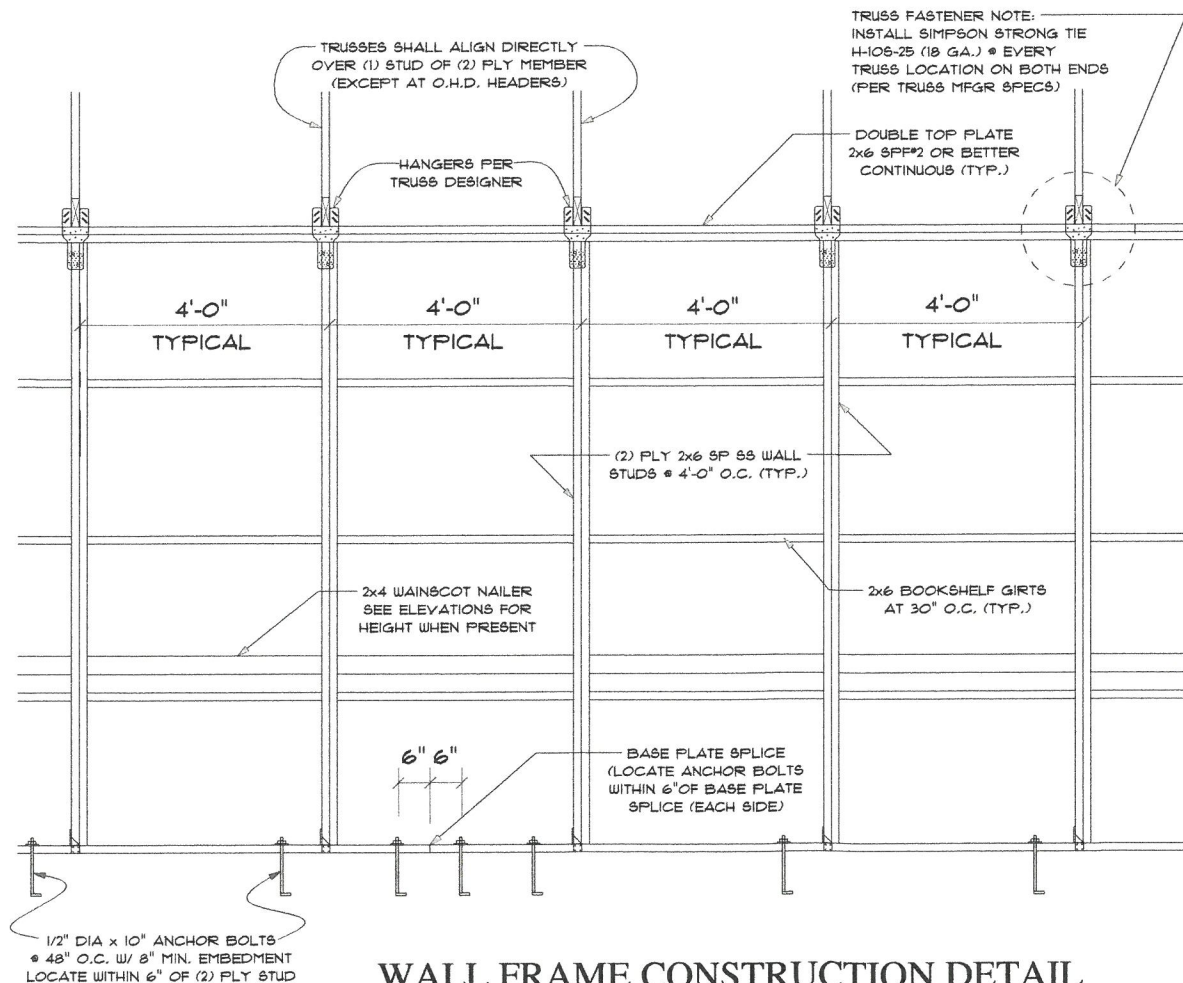
1. MINIMUM WOOD TO EARTH SEPARATION - 6"
2. CONTINUOUS SEALANTS AND FLASHING AT ALL EXTERIOR
3. FURNACE FLUE TO BE FIRESTOPPED AT CEILING LEVEL AND MAINTAIN PROPER CLEARANCES
4. PROVIDE OUTSIDE COMBUSTION AIR
5. 'UL' LISTINGS REQUIRED AND SHALL BE INSTALLED PER MANUFACTURER SPECS
6. PROVIDE ILLUMINATED EXIT SIGNS AT EXTERIOR DOORS
7. PROVIDE PANIC HARDWARE AT EXIT DOORS, ALL HARDWARE TO BE LEVER ACTION
8. CONTRACTOR TO PROVIDE AND SUBMIT PRODUCT SUBMITTALS TO OWNER FOR REVIEW AND APPROVAL
9. SITE DESIGN BY EXCAVATING CONTRACTOR
10. WORK OF ALL TRADES SHALL CONFORM WITH CURRENT RECOGNIZED STANDARDS AND PRACTICES FOR MATERIALS AND WORKMANSHIP

(THE FIRST PERSON TO ACTUALLY READ THESE NOTES SHOULD CALL 651-307-3353 AND MENTION THIS NOTE TO CLAIM A PRIZE FROM KEITH FRIESEN DRAFTING LLC)

11. SAFETY GLAZING IS REQUIRED WITHIN 24" OF A DOOR WHERE THE BOTTOM EDGE OF GLAZING IS LESS THAN 60" ABOVE THE FLOOR
12. WINDOW FRAME TO BE COLORED ANOD. ALUM
13. SEE STRUCTURAL FOR BEARING AND ANCHORING REQUIREMENTS
14. JOINTS SHALL BE PLACED NO MORE THAN 15' TO 20' O.C. BOTH DIRECTIONS IN CONCRETE SLABS, 20' TO 25' ON CENTER FOR MASONRY WALLS AND 20' TO 30' O.C. BOTH DIRECTIONS FOR GYP. BD. WALLS, SOFFITS, CEILINGS, ETC.
15. VERIFY ALL DIMENSIONS, NOTIFY OWNER OF ANY DISCREPANCIES
16. ALL PAINT COLORS TO BE DETERMINED BY OWNER SELECTIONS - VERIFY W/ CONTRACTOR.
17. PROVIDE WATER RESISTANT GYP. BD. AT ALL TOILET ROOMS
18. REFER TO ROOM FINISH SCHEDULE FOR BASE
19. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND IS RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES AND EASEMENTS
20. SITE, PLUMBING, AND ELECTRICAL DESIGN BY OTHERS
21. PROVIDE 4A FIRE EXTINGUISHERS AS SHOWN ON PLANS
22. EXIT DOORS TO HAVE LEVER ACTION HARDWARE AND CAN BE OPENED FROM THE INSIDE W/O USE OF KEY



TRUSS FASTENER NOTE:
INSTALL SIMPSON STRONG TIE H-108-25 (18 GA.) @ EVERY TRUSS LOCATION ON BOTH ENDS (PER TRUSS MFR SPECS) VERIFY ALL DETAILS & NOTES W/ MFR SPECIFICATIONS

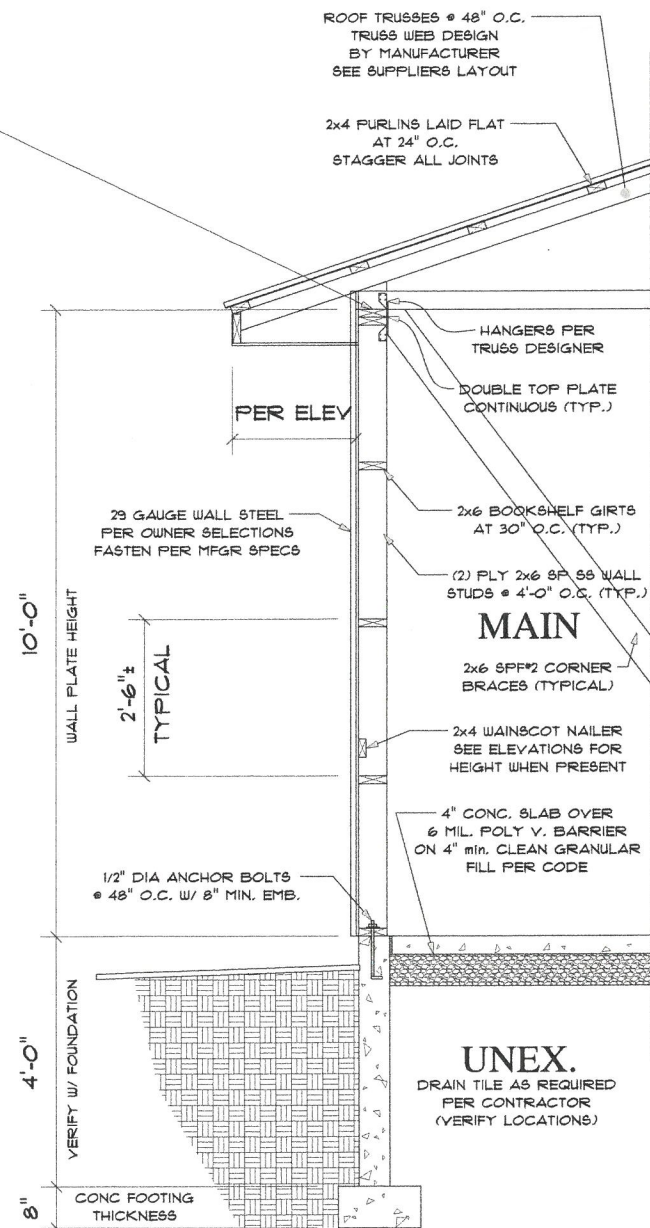


WALL FRAME CONSTRUCTION DETAIL

TRUSS FASTENER NOTE:
INSTALL SIMPSON STRONG TIE H-108-25 (18 GA.) @ EVERY TRUSS LOCATION ON BOTH ENDS (PER TRUSS MFR SPECS)

ROOF TRUSSES @ 48" O.C.
TRUSS WEB DESIGN BY MANUFACTURER SEE SUPPLIER'S LAYOUT

2x4 FURLINS LAID FLAT AT 24" O.C. STAGGER ALL JOINTS



SOG - 6 INCH PCW SECTION
SCALE: 1/2" = 1'-0"

KEITH FRIESEN DRAFTING, LLC. OWNS ALL RIGHTS, INCLUDING, BUT NOT LIMITED TO, COPYRIGHTS OF THE BLUEPRINTS OR FLOOR PLANS CREATED UNDER THIS AGREEMENT. KEITH FRIESEN DRAFTING, LLC. LICENSES THE BLUEPRINT OR FLOOR PLAN TO THE CUSTOMER FOR PURPOSES OF CONSTRUCTING THE STRUCTURE DEPICTED IN THE BLUEPRINT OR FLOOR PLAN. THE CUSTOMER SHALL NOT DUPLICATE, DISTRIBUTE TO THE PUBLIC, OR DISPLAY THIS BLUEPRINT OR FLOOR PLAN. THIS BLUEPRINT OR FLOOR PLAN IS NOT A WORK MADE FOR HIRE AS DEFINED UNDER 17 U.S.C. SECTION 101.

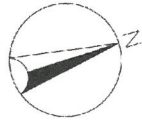
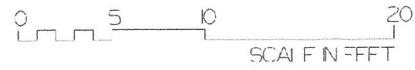
KEITH FRIESEN DRAFTING
Humbly Serving Wisconsin & Minnesota
KEITH FRIESEN DRAFTING LLC
651-307-3353
keithfriesen2@gmail.com

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, CONTRACTOR/HOMEOWNER MUST VERIFY GRADES, FOOTING SIZES, ELEVATIONS, ROUGH OPENINGS, HEADER AND BEAM SIZES AND ALL OTHER DIMENSIONS AND SPECS AND BE RESPONSIBLE FOR THE SAME.

THESE PLANS WERE DRAFTED & DESIGNED FOR:
ENVIRONMENTAL LEARNING CENTER
442 GUERNSEY LANE - RED WING, MN 55066 - U.S.A.

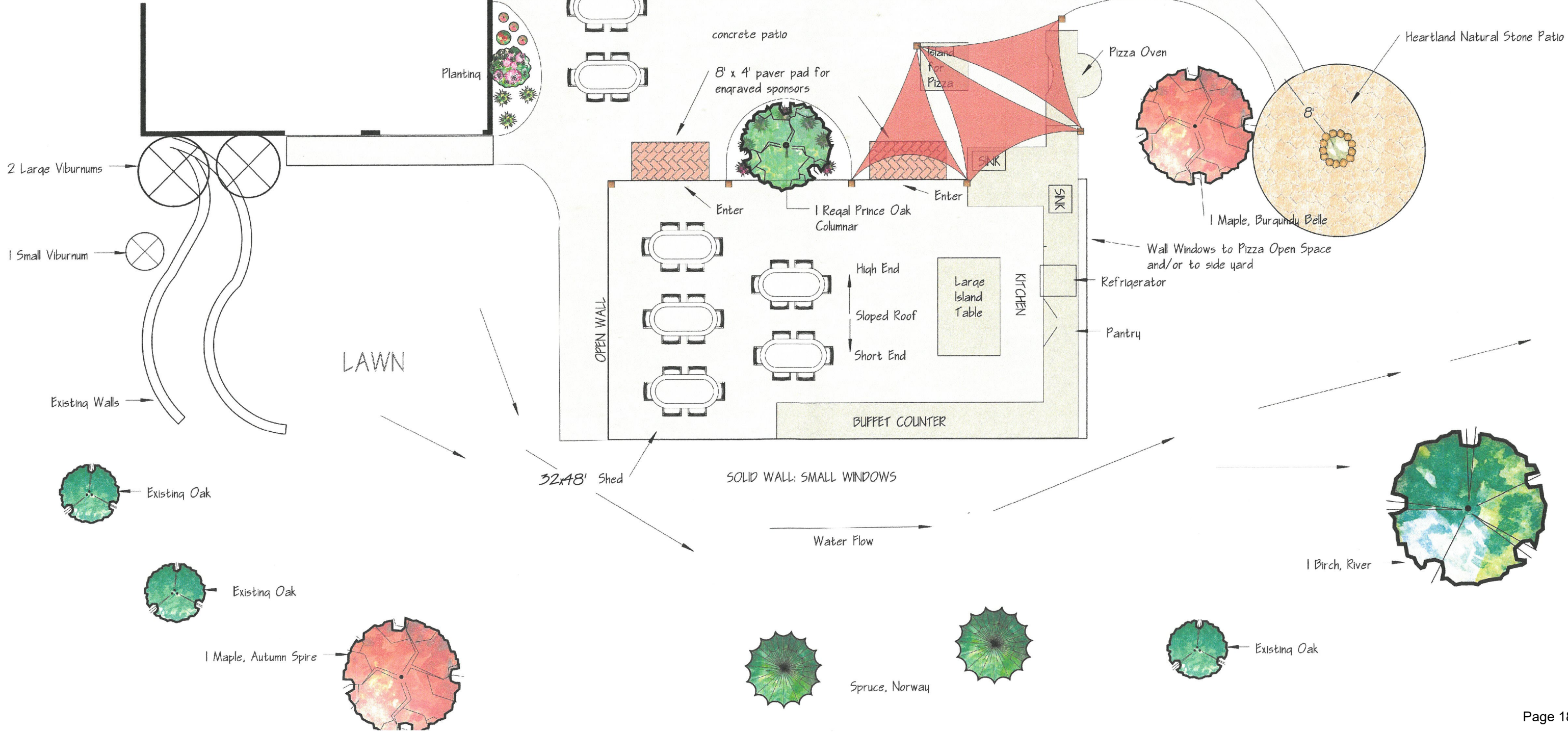
DESIGN PHASE	
PRELIMINARY PLAN#1	6/12/2025
PRELIMINARY PLAN#2	1/7/2025
CHECK SET PLAN	8/4/2025
FINAL PLAN ISSUED	8/6/2025
REVISION 1	
REVISION 2	
SCALE	AS NOTED
DRAWN BY	K. FRIESEN
SHEET NUMBER	A5

ELC		
442 Guernsey Ln Red Wing, MN 55066		
client	date	revision
scale 1"=10' +/-	August 2022	
drawn by Anne Matzek	checked by	drawing #



**Sargent's
NURSERY**

3352 N Service Dr. - Red Wing, MN 55066
(651) 388-3847
www.sargentsnursery.com





ELC Variance Request

Proposed Building Location

442

Guernsey Lane

Goodhue Street

Old Zumbrota Street

Hwy 58





ELC site from Guernsey Lane (looking from southwest)



ELC site from intersection of Guernsey Lane and Goodhue Street (looking from southeast)



ELC site from Goodhue Street (looking from east)



ELC site from Goodhue Street (looking from northeast)



Examples of other buildings
in the neighborhood



Kohn, Steve

From: Alan Quarnstrom <ark9970@aol.com>
Sent: Wednesday, August 20, 2025 9:43 AM
To: Kohn, Steve
Subject: ELC

Steve,

This letter is to advise you that W Media Group has zero issues or problems with the new building proposed by The Environmental Learning Center at 442 Guernsey Lane, Red Wing, MN

Al Quarnstrom
Owner
Q Media Group
474 Guernsey Lane
Red Wing, MN. 55066

Office: 651-388-7151
Mobile: 218-380-4163
e-mail: ark9970@aol.com